

Lifestyle COMMUNITIES

Rev	Date	Modified By	REVISION TO DRAWINGS	
			Pre Approval:	
А	##.##.####	INITIAL	List variation here and in project info.	
			Alfresco window over stacker door amended from AF0627 to AF06	
	20.07.2023		Alfresco window over stacker door amended from AF0624 to AF06	
				710.
	27.07.2023		SQ set opening to MPR in lieu of CSD.	
			1). 1500 Sq Set to MPR	✓
			2). Garage GPO @1300mm above FFL	▼
			Reduction in downlights Induction cooktop	TCA/CDC
			5). Back to wall cistern	TCA/CDC ✓
			6). Additional double GPO to MPR	✓ ·
			7). Adjusted door location to Bed 1	✓
			8). Alfresco fan height lowered	JOE For options
			9). Additional Double GPO to Bed 2	✓
			10). Semi frameless shower screen (remove trip hazard)	✓
			11). Reduced width Sq Set to Entry	✓
			,	✓

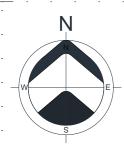
	CC	W/O
WAE	N/A	N/A
SEWER Draft Civil Plans	N/A	N/A
WATER	N/A	N/A
ELECTRICAL	N/A	N/A
NBN	N/A	N/A
CIVIL ENGINEERS	N/A	N/A
GAS	N/A	N/A
LINEN	N/A	N/A
88B	N/A	N/A
BAL	N/A	N/A
ACCOUSTICS	N/A	N/A

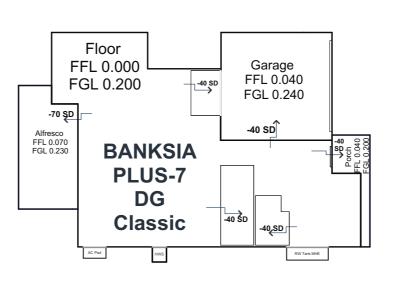
Layout No:	Layout Name	Rev
01.1	Cover Sheet	
01.2	Site	
01.3	Ground Floor	
01.4	Elevation A/B	
01.5	Elevation C/D	
01.6	Section X/Y	
01.7	Site Analysis	
01.8	Fencing & Retaining Layout	
01.9	Retaining Wall Details	
01.10	Waste & Drainage	
01.11	Slab Setout Ground	
01.12	Slab Details	
01.13	Sub Floor Ground	
01.14	Slab Relocation Plan	
01.15	Ground Floor Electrical	
01.16	Wall Section 1	
01.17	Associated Details 1	
01.18	Associated Details 2	
01.19	Tile Specification	
01.20	Ensuite - Laundry	
01.21	Bath	
01.22	Kitchen	
01.23	Colour Application	
01.24	Paint Application	
01.25	Colour Perspectives	
01.26	Landscape	
01.27	Landscape Details	
01.28	Solar Panel Layout	
01.29	Furniture Layout	
01.30	WHS Plan	

WARNING: ALL DRAWINGS TO BE READ IN CONJUNCTION WITH DETAILS. ALL DISCREPANCIES TO BE REPORTED TO DESIGN OFFICE PRIOR TO CONSTRUCTION (ALLAM DESIGN DEPARTMENT) ON (02) 4702 5960

| Allam Lifestyle Communities | Level 3, Offices 36-42 | 1-13 Brookhollow Ave | ACN 003 796 883 BLN 28701.C | Yellow 1. Allam Homes Pty Ltd. Copyright in this document is owned by Lod Lodge the provisions of the Copyright ACT 1968 and is intended for use only as authorised by Allam Homes Pty Ltd. DO NOT SCALE OFF ARCHITECTURAL DRAWINGS

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DRAWING REVISIONS

A. ##.##.## INI - List variations.

NOTE: Also Refer To Index Sheet For Additional Plans.

- Waste & Drainage.
- Fencing & Retaining.
- Slab Setout.Site Analysis.Landscape.

- GENERAL NOTES:

 Landscaping To The Front & Rear Yards As Indicated On The Landscape Plan.

 Retaining Wall Where Required By Builder.
- Provide An Edgeboard Survey To Confirm The Position Of The Home & Finished Floor Levels.
 Provide 1800mm High Chain Wire Temporary Safety Fencing In Accordance With Work Cover Requirements Under The Occupational Health & Safety Act To All Unfenced Boundaries Including

NG: ALL DRAWINGS TO BE READ IN CONJUNCTION WITH DETAILS. ALL DISCREPANCIES TO BE REPORTED TO DESIGN OFFICE PRIOR TO CONSTRUCTION (ALLAM DESIGN DEPARTMENT) ON (02) 4702 5960 SITE INSTRUCTIONS **Site BANKSIA PLUS-7 DG** 1:200 CAE Allam Homes Pty Ltd GENERAL: F 01.09.20 Lot ### Street name Classic Ph 02 47322422 Fx 02 47211811 HOUSE: 0 01.07.20 A. ##.##.###.V22 1BK7101000 **Job no.** Suburb (Estate) NSW

BANKSIA PLUS-7 DG

Classic

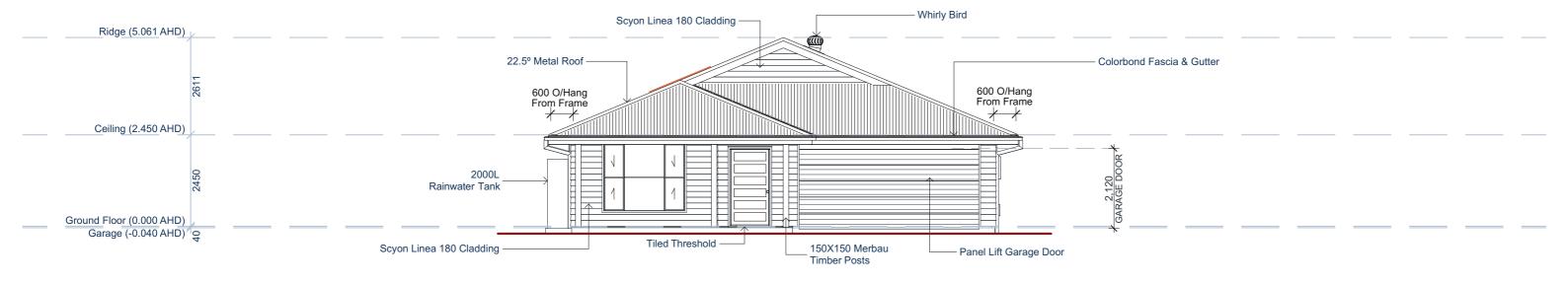
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SITE INSTRUCTIONS Ground Floor

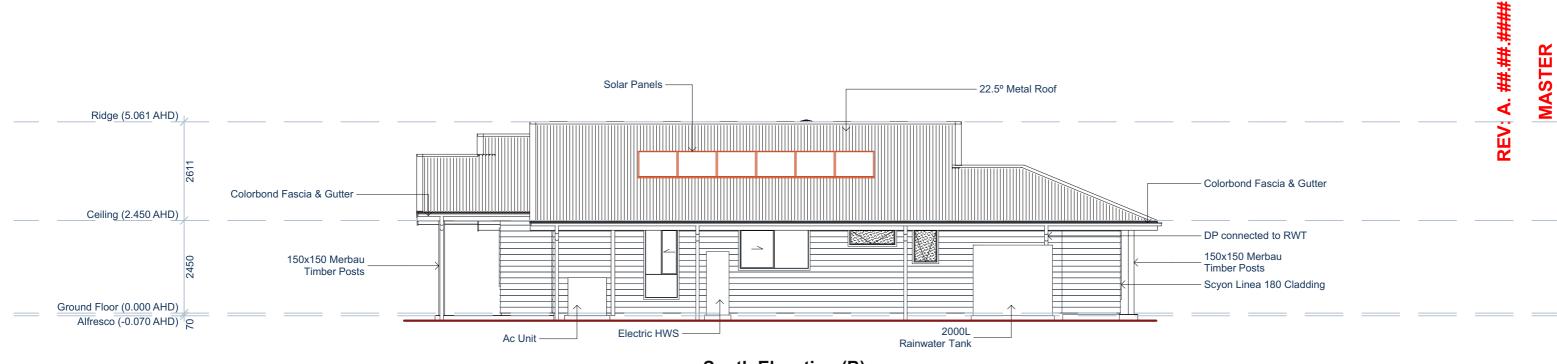
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Allam Homes Pty Ltd

Suburb (Estate) NSW



East Elevation (A)



South Elevation (B)

General Notes:

* Locate expansion joints in accordance with. Clause 3.3.5.13 of NCC and located behind

- Clause 3.3.3.13 of NCC and located benind downpipes where possible.

 * All verges 200mm unless otherwise noted

 * Provide cover strip to entry doors

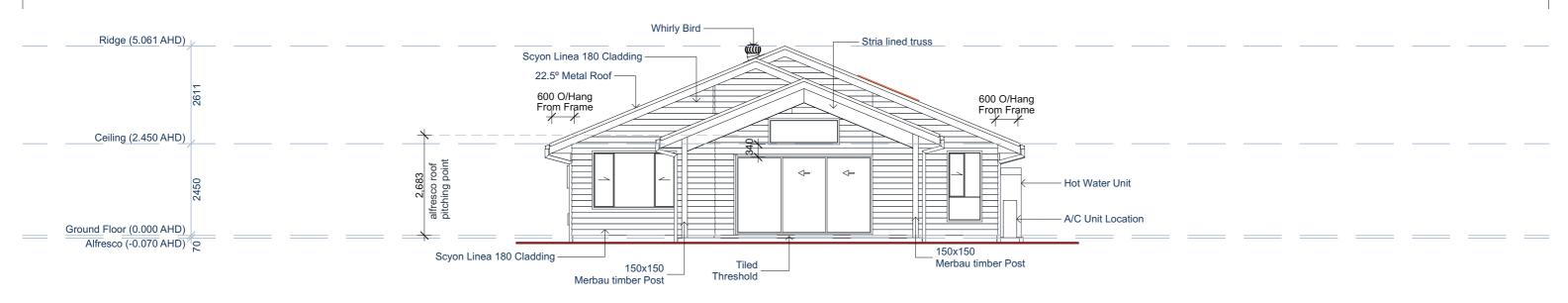
 * Provide cover strip to entry doors

 * Refer to floor plans/window schedule for Restricted opening windows (BCA)
- Indicates Obscure Glazing (Refer floor plans/window schedule)

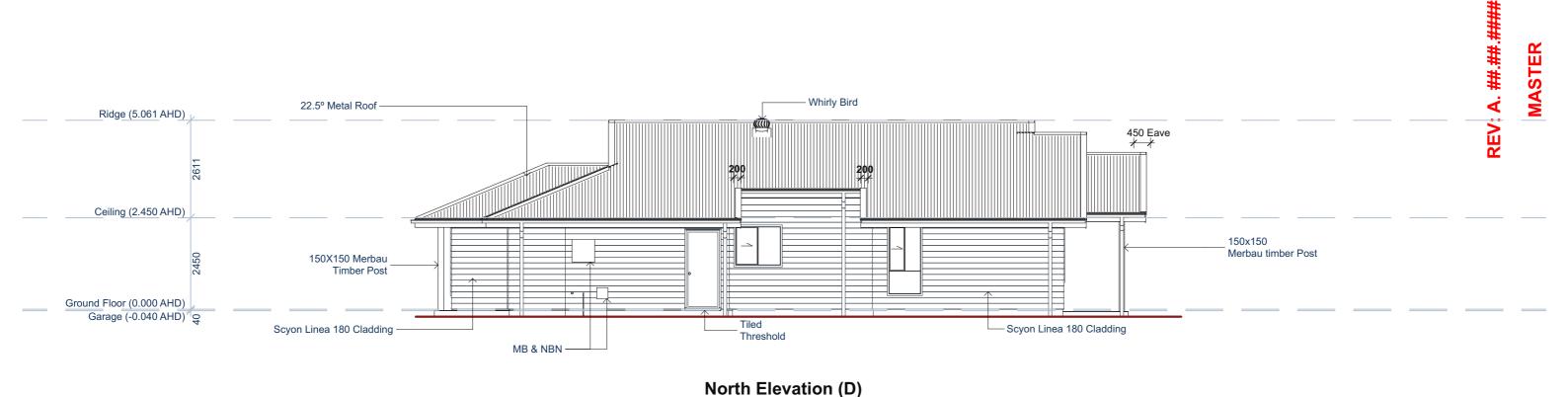
Glazing

Glazing materials must be selected and installed in accordance with the relevant provisions of AS 1288—2006, Glass in buildings—Selection and installationand, to the extent to which those provisions require the use of safety glass, in accordance with the relevant provisions of AS/NZS 2208:1996, Safety glazing materials in buildings (each as in force on 1 September 2005).

WARNING: ALL DRAWINGS TO BE R	WARNING: ALL DRAWINGS TO BE READ IN CONJUNCTION WITH DETAILS. ALL DISCREPANCIES TO BE REPORTED TO DESIGN OFFICE PRIOR TO CONSTRUCTION (ALLAM DESIGN DEPARTMENT) ON (02) 4702 5960											
Allam Lifestyle C	nmunities ALL RIGHT RESERVED		Site Address	SITE	Elovoti	n A/D	L	Last Amended	Scale			
Level 3, Offices 3	This plan is the property of Allam Homes pty	BANKSIA PLUS-7 DG	Allam Homes Pty Ltd	INSTRUCTIONS	Elevation)II A/B		CAE	1:100			
11-13 Brooknollo	AVE Itd. Copyright in this document is owned by Allam Homes pty Itd. Under the provisions of		Lot ### Street name	GENERAL:	F 01.09.20	Revision/Date/Version	Serial	Job No	Sheet			
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www.allam.com.a	use only as authorised by Allam Homes pty ltd.	Clabblo	Suburb (Estate) NSW	HOUSE:	0 01.07.20	A. ##.##.##.V22	1BK/101000 J	Job no.	01.4			



West Elevation (C)



General Notes:

* Locate expansion joints in accordance with Clause 3.3.5.13 of NCC and located behind

- downpipes where possible.

 * All verges 200mm unless otherwise noted
- * Provide cover strip to entry doors
 * Provide cover strip to entry doors
 * Provide cover strip to entry doors
 * Refer to floor plans/window schedule for Restricted opening windows (BCA)

Indicates Obscure Glazing (Refer floor plans/window schedule)

Glazing

Glazing materials must be selected and installed in accordance with the relevant provisions of AS 1288—2006, Glass in buildings—Selection and installationand, to the extent to which those provisions require the use of safety glass, in accordance with the relevant provisions of AS/NZS 2208:1996, Safety glazing materials in buildings (each as in force on 1 September 2005).

WARNING: ALL DRAWINGS TO BE READ IN CONJUNCTION WITH DETAILS. ALL DISCREPANCIES TO BE REPORTED TO DESIGN OFFICE PRIOR TO CONSTRUCTION (ALLAM DESIGN DEPARTMENT) ON (02) 4702 5960 SITE INSTRUCTIONS Elevation C/D **BANKSIA PLUS-7 DG** Allam Homes Pty Ltd

Classic

Lot ### Street name

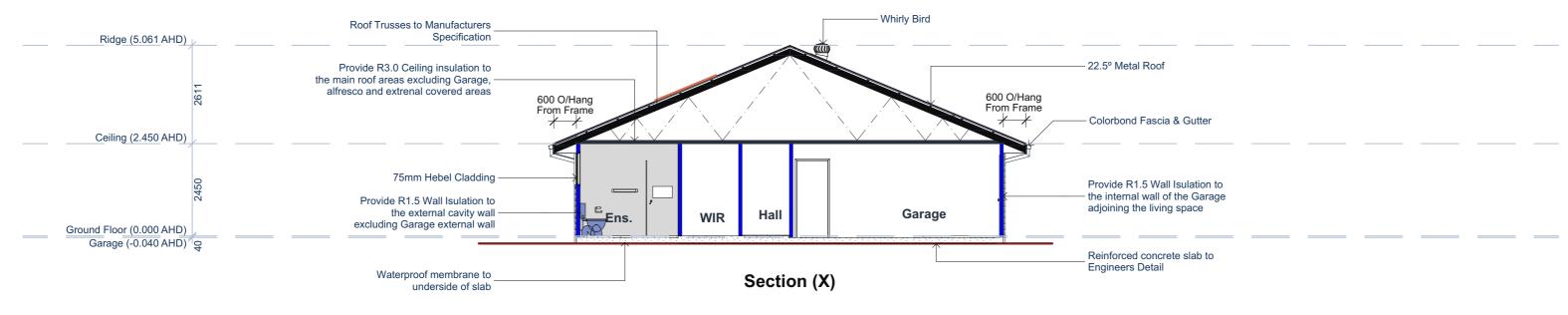
Suburb (Estate) NSW

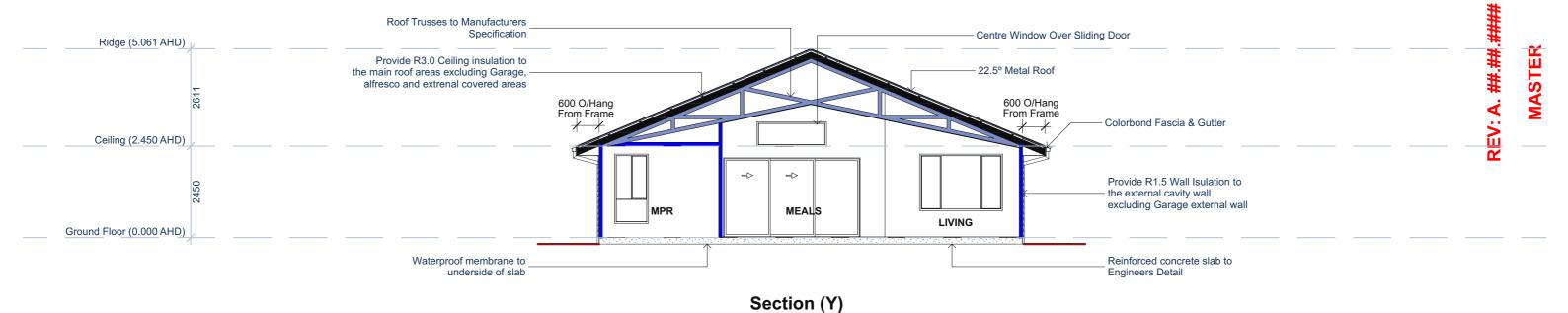
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HOUSE: 0 01.07.20 A. ##.##.##.V22 1BK7101000 **Job no.**

ACN 003 798 883 BLN 28701.C Ph 02 47322422 Fx 02 47211811 **Lifestyle COMMUNITIES** © 2021 Allam Homes Ptv Ltd. DO NOT SCALE OFF ARCHITECTURAL DRAWINGS





CONDENSATION MANAGEMENT:

- Exhaust Fans will be Compliant with NCC Clause 3.8.7.3.b (i). Australian Standard AS4200.1

-Wall wrap to be in accordance with Clause 3.8.7.2 of NCC

2019 & AS4200.1 & Installed in Compliance with AS4200.2

ROOF RAINWATER:

- Provide overflow measures for gutters and downpipes: Compliant with NCC Clause 3.5.3 STAIRS, RAMP & LANDINGS:

Internal & External: Bounded by walls:
Compliant with NCC Clause 3.9.1
Internal & External: Finish of nosings/slip resistance:
Compliant with NCC Clause 3.9.1.4

BALLUSTRADES:

- Internal/External: All installations: Compliant with NCC 3.9.2; Clause 3.9.2.3 & 3.9.2.4 as applicable for handrails

ELECTRICAL:

Smoke Alarms: Installation to NCC Clause 3.7.5

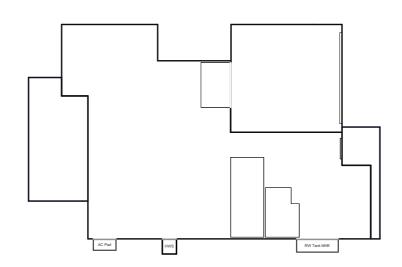
		LIGHTING	& VENTILATION T	ABLE	
Zone Name	Floor Area Total	Natural Lighting Area Requied (Min. 10%)	Proposed Natural Lighting Area	Natural Ventilation Area Requied (Min. 5%)	Proposed Natural Ventilation Area
Bed 1	13.73	1.373	2.880	0.687	1.440
Bed 2	8.739	0.874	2.160	0.437	1.080
Meal/Kitchen	28.68	2.868	8.457	1.434	4.619
Living	17.640	1.764	5.162	0.882	1.610
MPR	11.54	1.154	3.24	0.577	1.02

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Allam Life	estyle Communities ALL RIGHT RESERVED.		Site Address	SITE	Cootion	VA		Last Amended	Scale
Level 3, O	Offices 36-42 This plan is the property of Allam Homes pty	BANKSIA PLUS-7 DG	Allam Homes Pty Ltd	INSTRUCTIONS	Section	X/Y		CAE	1:100
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Lifestyle COMMUNITIES MONTERET Ph 02 473 www.allan	the Copyright ACT 1968 and is intended for use only as authorised by Allam Homes pty ltd.	Classic	Suburb (Estate) NSW	HOUSE:	0 01.07.20	A. ##.##.###.V22	1BK7101000	Job no.	01.6

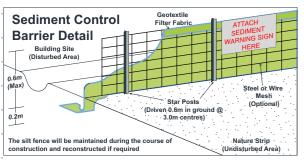
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NOTE. N
HOUSING PETAINING WALL SUBSOIL DRAINAGE TO CONNECT TO EXISTING CIVIL RETAIN OF ALL SUBSOIL DRAINAGE LINE.
SUBSOIL DRAIN GELINE IS TO EXIT SITE VIA A SILT PIT TO DEDICATED DISCHARGE POAT COMPLYING WITH APPROPRIATE AUTHORITY.
DO NOT CONNECT ROOF & SURFACE WATER DRAINAGE LINES TO RETAINING WALL SUBSOIL DRAIGE/LINE.

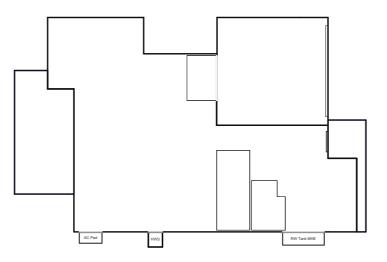
STORM SUBSOIL DRAINAGE IS TO COMPLY WITH ABCB HOUSING PROVISIONS STANDARD 2022 PART 3.3







WARNING: ALL DRAWIN	GS TO BE READ IN C	ONJUNCTION WITH DET	TAILS. ALL DISCREPANCIES TO BE REPORTED TO DE	ESIGN OFFICE PRIOR TO CONSTI	RUCTION (ALL	AM DESIG	N DEPARTMENT)	ON (02) 4702 5	960	
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MONTE	ACN 003 798 883 BLN 28701.C	Allam Homes pty ltd. Under the provisions of	Classia	Lot ### Street name	GENERAL: F	01.09.20	Revision/Date/Version	Serial	Job No	Sheet
Lifestyle COMMUNITIES CAMDEN HAVEN	F 1Ph 02 47322422 Fx 02 47211811 www.allam.com.au	use only as authorised by Allam Homes pty ltd.	Classic	Suburb (Estate) NSW	HOUSE: 0	01.07.20	A. ##.##.###.V22	1BK7101000	Job no.	01.7





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Allam Lifestyle Communities
Level 3, Offices 36-42
11-31 Brookhollow Ave
ACN 003 798 883 BLN 28701, C
Ph 02 47322422 Fx 02 47211811
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Lot ### Street name
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REV: A. ##.##.####

NOTE. HOUSING RETAINING WALL SUBSOIL DRAINAGE TO CONNECT TO EXISTING CIVIL

RETAINING WALL SUBSOIL DRAINAGE LINE.

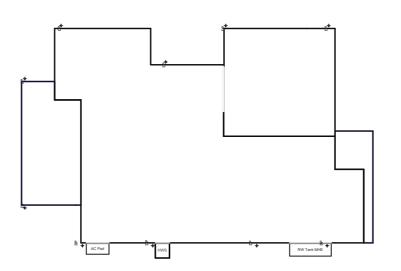
SUBSOIL DRAINAGE LINE IS TO EXIT SITE VIA A SILT PIT TO DEDICATED DISCHARGE

POINT COMPLYING WITH APPROPRIATE AUTHORITY.

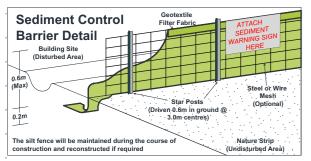
DO NOT CONNECT ROOF & SURFACE WATER DRAINAGE LINES TO RETAINING WALL

SUBSOIL DRAINAGE LINE.

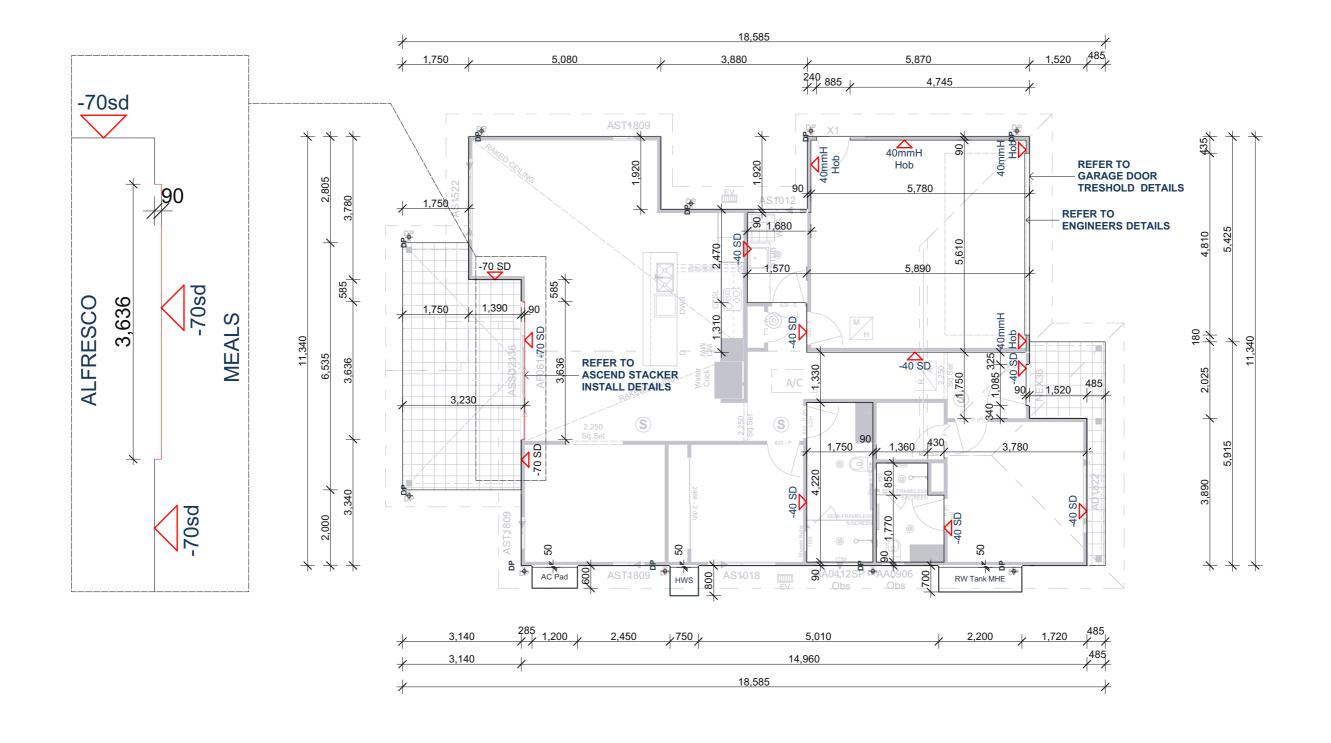
STORMWATER & SUBSOIL DRAINAGE IS TO COMPLY WITH ABCB HOUSING PROVISIONS STANDARD 2022 PART 3.3







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		- T	Allam Lifestyle Communities	ALL RIGHT RESERVED		Site Address	SITE	147 4	0.5		Last Amended	Scale
	ALLAM	M	Level 3, Offices 36-42	This plan is the property of Allam Homes pty	BANKSIA PLUS-7 DG	Allam Homes Pty Ltd	INSTRUCTIONS	waste	& Drainage		CAE	1:200
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	Lifestyle COMMUNITIES MC	ONTEREY	Ph 02 47322422 Fx 02 47211811	the Copyright ACT 1968 and is intended for	Classic	2 de la Caraca Nación	OLIVEI VIL.	1 01.00.20		4DIC7404000		04.40
	Eljestyle Colvinional IIES	CAMDEN HAVEN	www.allam.com.au	use only as authorised by Allam Homes pty ltd.	0140010	Suburb (Estate) NSW	HOUSE:	0 01.07.20	A. ##.##.###.V22	1BK/101000	Job no.	01.10
@ 2021	Lifestyle COMMUNITIES M.C.	ONTEREY	ACN 003 798 883 BLN 28701.C Ph 02 47322422 Fx 02 47211811 www.allam.com.au	Allam Homes pty ltd. Under the provisions of the Copyright ACT 1968 and is intended for use only as authorised by Allam Homes pty ltd.	Classic	Lot ### Street name Suburb (Estate) NSW	GENERAL: HOUSE:	F 01.09.20 0 01.07.20	A. ##.##.W22	1BK7101000	Job no.	

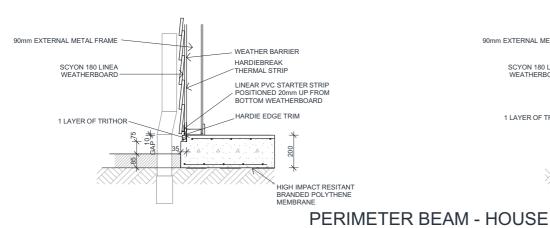


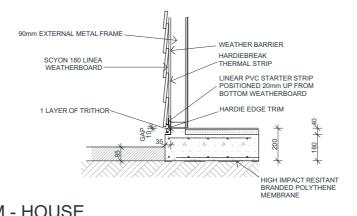
Termite shields

Shields, suriers or the like must be provided in accordance with AS 3660.1–2000Termite management—new building work and structures, as in force on 1 September 2005, to protect any structural members that are susceptible to attack by termites.

NOTE: All Measurements Are Taken From External Edge Of Slab

4.			9								
	WARNING: ALL DRAWINGS TO BE READ IN	CONJUNCTION WITH DET	TAILS. ALL DISCREPANCIES TO BE REPORTED TO D	ESIGN OFFICE PRIOR TO CONSTR	UCTION (ALL	AM DESI	GN DEPARTMENT)	ON (02) 4702 5	960		
	Allam Lifestyle Communities	ALL RIGHT RESERVED. This plan is the property of Allam Homes pty	BANKSIA PLUS-7 DG	Site Address Allam Homes Ptv Ltd	SITE INSTRUCTIONS S	lab Se	tout Ground		Last Amended CAE	Scale 1:100	
	Level 3, Offices 36-42 11-13 Brookhollow Ave ACN 003 798 883 BLN 28701.	Itd. Copyright in this document is owned by Allam Homes pty ltd. Under the provisions of	Classic	Lot ### Street name	GENERAL: F	01.09.20	Revision/Date/Version	Serial	Job No	Sheet	
	Lifestyle COMMUNITIES Lifestyle COMMUNITIES Www.allam.com.au	use only as authorised by Allam Homes pty ltd.	Classic	Suburb (Estate) NSW	HOUSE: 0	01.07.20	A. ##.##.###.V22	1BK7101000	Job no.	01.11	
	2021 Allam Homes Ptv Ltd. DO NOT SCALE OFF ARCHITECTURAL DRAWINGS										

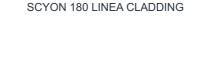


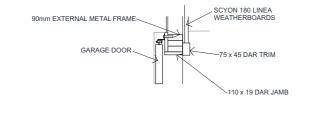


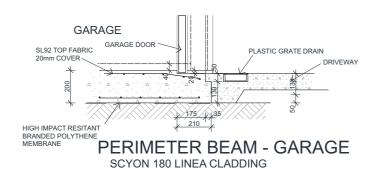
HALL / ENTRY **GARAGE** RAMP UP HIGH IMPACT RESITANT BRANDED POLYTHENE MEMBRANE

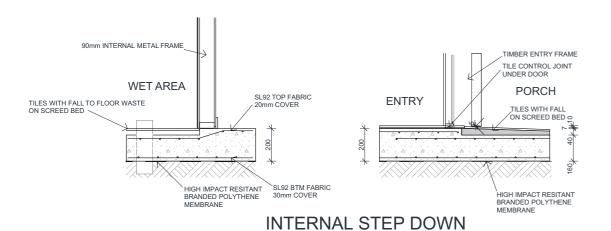
100mm WIDE REVEAL

INTERNAL STEP DOWN THRU WALL

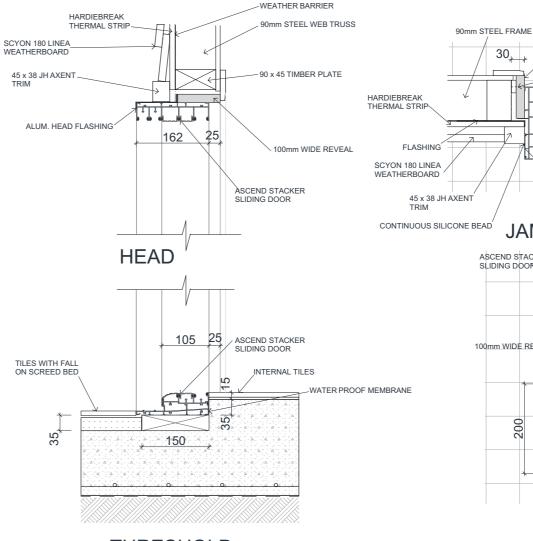


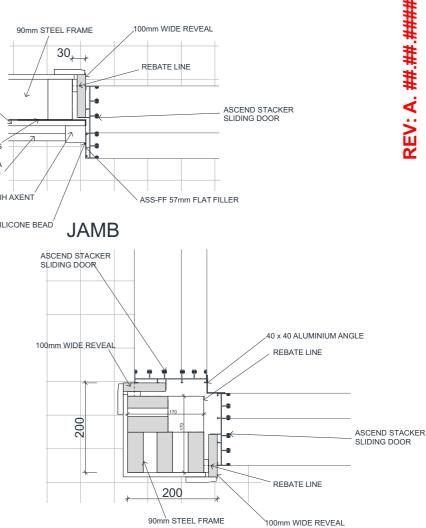






THRU WALL



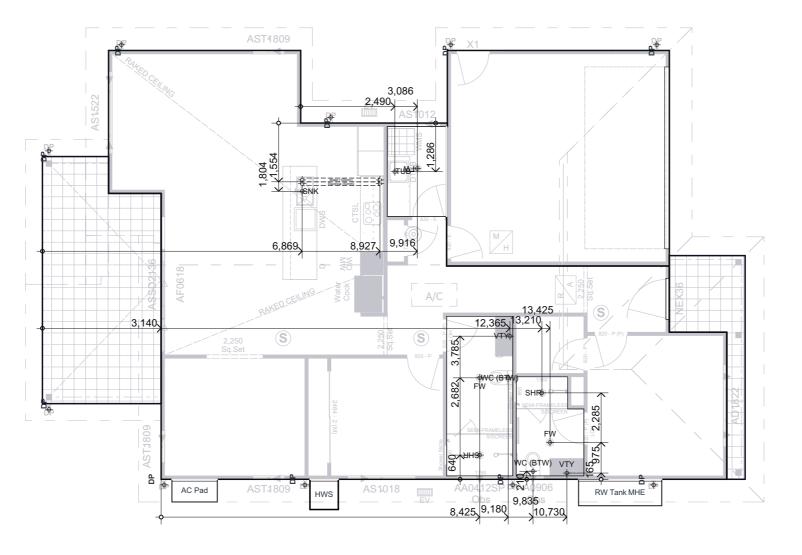


THRESHOLD

INTERNAL STACKER DOORS JUNCTION

INSTRUCTIONS Slab Details **BANKSIA PLUS-7 DG** Allam Homes Pty Ltd Classic Ph 02 47322422 Fx 02 47211811 HOUSE: 0 01.07.20 A. ##.##.###.V22 1BK7101000 **Job no.** 01.12 THE IMAGES CONTAINED ON THIS PAGE ARE FOR ILLUSTRATION & REPRESENTATION PURPOSES ONLY

MASTER



NOTE: GROUND FLOOR RUNNING DIMENSIONS FROM INSIDE OF EDGE BOARD TO Q OF PENETRATION

NOTE: FIRST FLOOR
RUNNING DIMENSIONS FROM EXTERNAL
TIMBER FRAME/BRICKWORK TO © OF
PENETRATION

WARNING: ALL DRAWINGS TO BE READ IN CONJUNCTION WITH DETAILS. ALL DISCREPANCIES TO BE REPORTED TO DESIGN OFFICE PRIOR TO CONSTRUCTION (ALLAM DESIGN DEPARTMENT) ON (02) 4702 5960

Allam Lifestyle Communities
Level 3, Offices 36-42
11-33 Brookhollow Ave
ACN 003 798 883 Blux 28701.C
Ph 02 47322422 Fx 02 47211811
ACRO MOST SOURCE OFFICE PRIOR TO CONSTRUCTION (ALLAM DESIGN DEPARTMENT) ON (02) 4702 5960

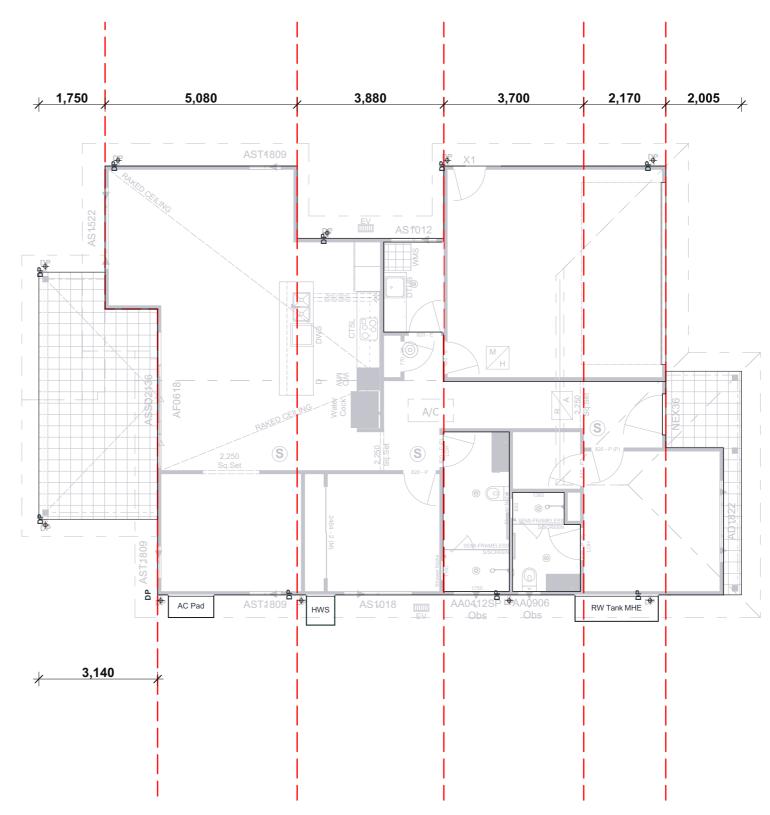
BANKSIA PLUS-7 DG
Allam Homes Pty Ltd
Lot ### Street name
Suburb (Estate) NSW

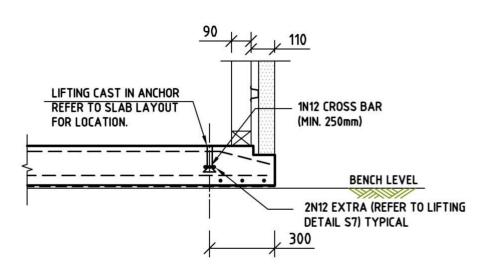
BANKSIA PLUS-7 DG
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ACRO MOST SOURCE OFFI DOCHITECTURA DEPARTMENT ON 01 50 ME CONTINUE OF TO CONSTRUCTION (ALLAM DESIGN DEPARTMENT) ON (02) 4702 5960

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NOTE: REFER TO ENGINEERS DETAILS





EDGE DETAIL WITH LIFTING ANCHORS

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ALLAM M	Allam Lifestyle Communities Level 3, Offices 36-42	ALL RIGHT RESERVED. This plan is the property of Allam Homes pty	BANKSIA PLUS-7 DG	Site Address Allam Homes Pty Ltd	SITE INSTRUCTIONS	Slab Rel	location Plan		Last Amended CAE	Scale REFER TO DETAIL
MONTEREY	ACN 003 798 883 BLN 28701.C	Allam Homes pty ltd. Under the provisions of	Classic	Lot ### Street name	GENERAL:	F 01.09.20	Revision/Date/Version	Serial	Job No	Sheet
Lifestyle COMMUNITIES CAMBEN MAYER	www.allam.com.au	use only as authorised by Allam Homes pty ltd.	Classic	Suburb (Estate) NSW	HOUSE:	0 01.07.20	A. ##.##.##.V22	1BK7101000	Job no.	01.14



Downlight LED

2W Denotes two way control

Internal Wall @ 1900

Light/Heat/Fan (Ducted To External)

External Wall @ 1900

Light Switch

■ LED Light

D Data Point @ 300 (above FL)

T.V. Point @ 300 (above FL)

Electric Hot Water System

(S) Smoke Alarm

Air-conditioner Fan Unit

Meter Box

Internal COMS

Alarm Key Panel

Alarm Control Box

Single GPO

Double GPO Single Ext GPO

Double Ext GPO



Ceiling Fan



Ceiling Fan (Incorporated Light)

Actron Air Standard Unit Specification (Single Phase) Model: CRS13AS / EVA13AS

Net (rated) Capacity (KW) Cooling: 13.02 KW

Heating: 15.0 KW

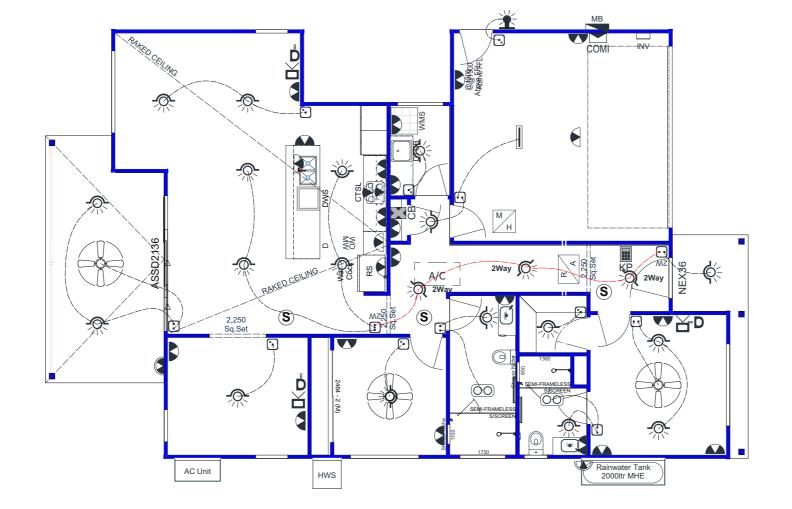
EER Rated Cooling: 3.35 KW EER Rated Heating: 3.51 KW

General Notes: NCC Approval

- 1. All heights measured from the main floor level unless otherwise noted.
- 2. Light switches @ 1300mm above FFL wall mounted.
- 3. Top of Meter box to be 1900mm
- maximum above ground level. 4. Provide Smoke Alarms in accordance with NCCS Vol 2: Clause 9.5.
- 5. Double GPO to meter box.

Electrical wiring

The electrical wiring in a manufactured home must comply with the requirements of AS/NZS 3000:2000.

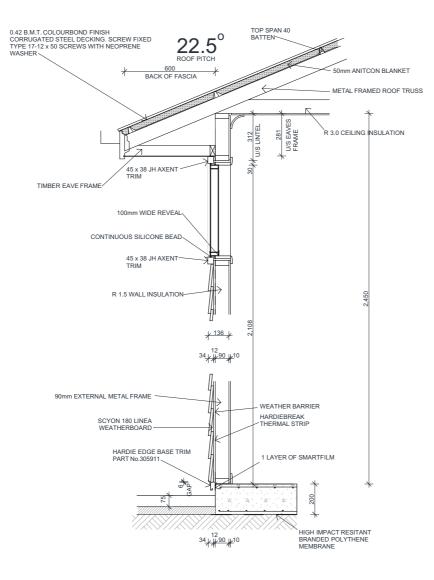


GP	O Height Tabl	е
Room Location	Item	Height (mm)
Kitchen	GPO	1100
	REF	2050
	RH	1900
	DW	500
	MW	600/1200
Laundry	GPO	1300
Bath/Ens/Pow	GPO	1300
Garage	GPO	1200
	Roller Door	2000
	Panel Door	Ceiling
Other	External GPO	1000
Note:		

All general room GPO's are to measure 300mm above main floor level unless

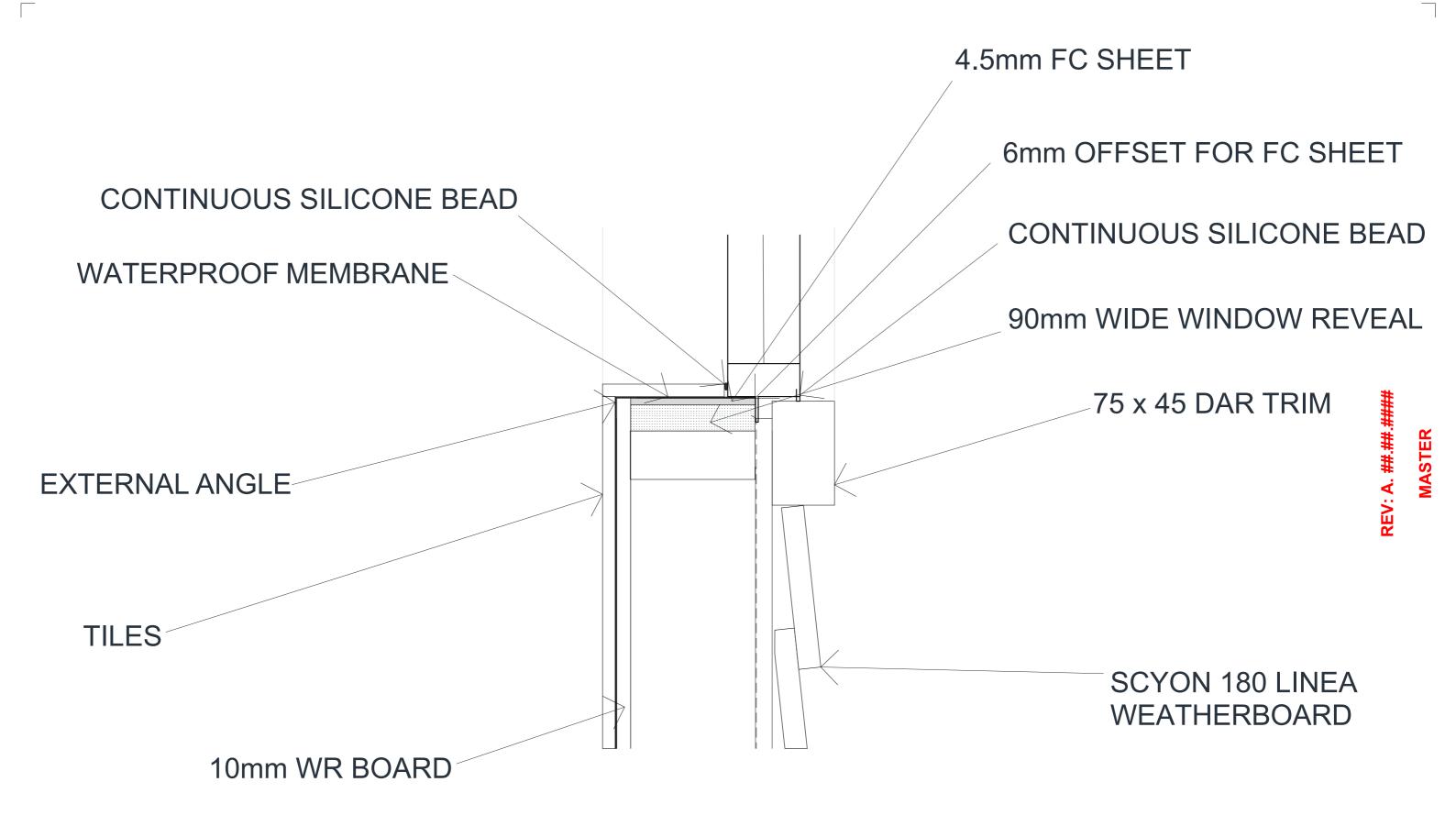
NG: ALL DRAWINGS TO BE READ IN CONJUNCTION WITH DETAILS. ALL DISCREPANCIES TO BE REPORTED TO DESIGN OFFICE PRIOR TO CONSTRUCTION (ALLAM DESIGN DEPARTMENT) ON (02) 4702 5960 SITE INSTRUCTIONS Ground Floor Electrical **BANKSIA PLUS-7 DG** 1:100 Allam Homes Pty Ltd Lot ### Street name GENERAL: F 01.09.20 Classic M O N T E R E Y Ph 02 47322422 Fx 02 47211811 **Lifestyle COMMUNITIES** HOUSE: 0 01.07.20 A. ##.##.##.V22 1BK7101000 **Job no.** Suburb (Estate) NSW © 2022 Allam Homes Pty Ltd. DO NOT SCALE OFF ARCHITECTURAL DRAWINGS

MASTER

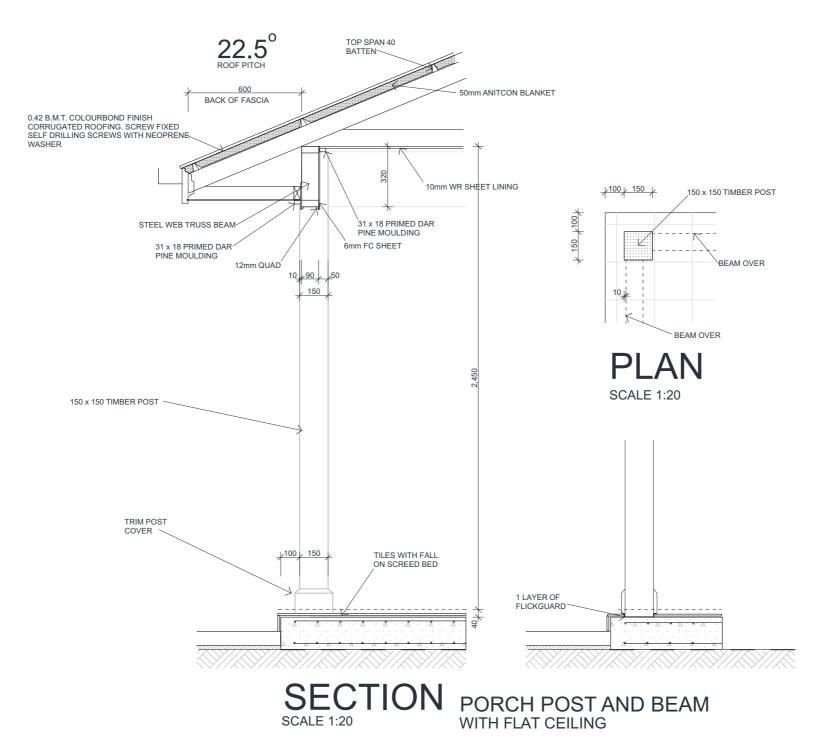


PERIMETER BEAM - HOUSE

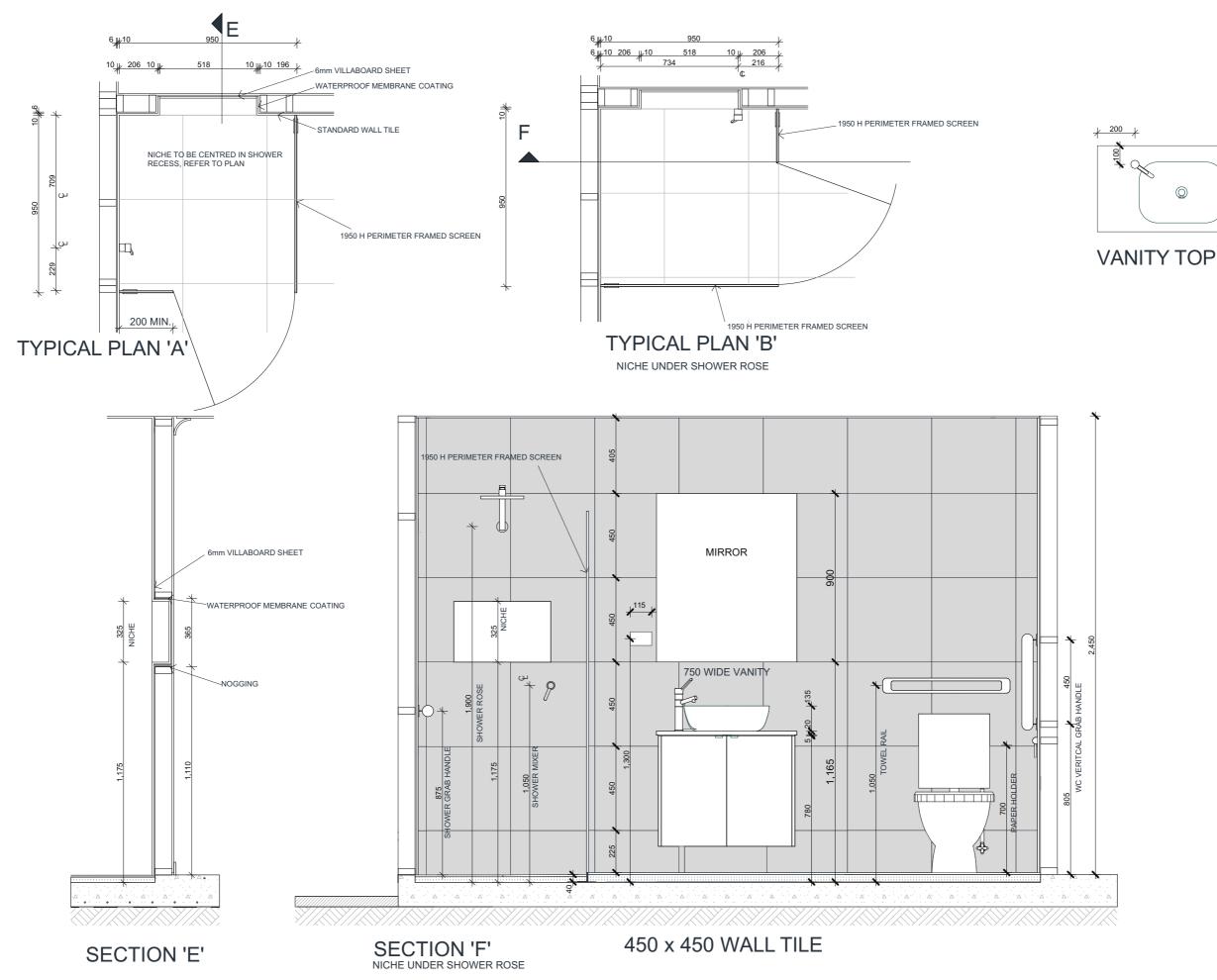
TYPE B - FULL SCYLON LINEA 180 (16mm) WALL



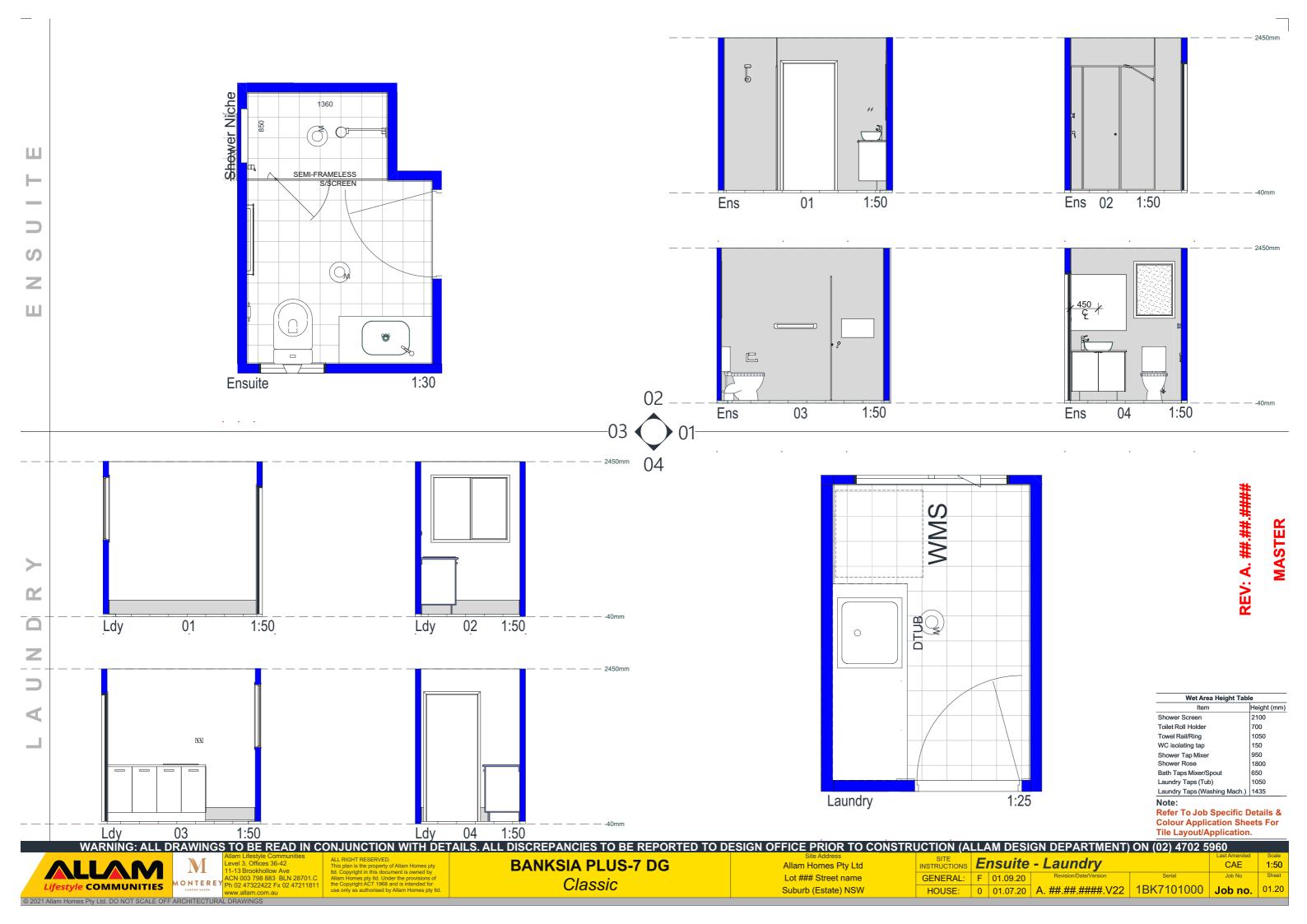
TYPE B - FULL SCYON LINEA 180 (16mm) WALL

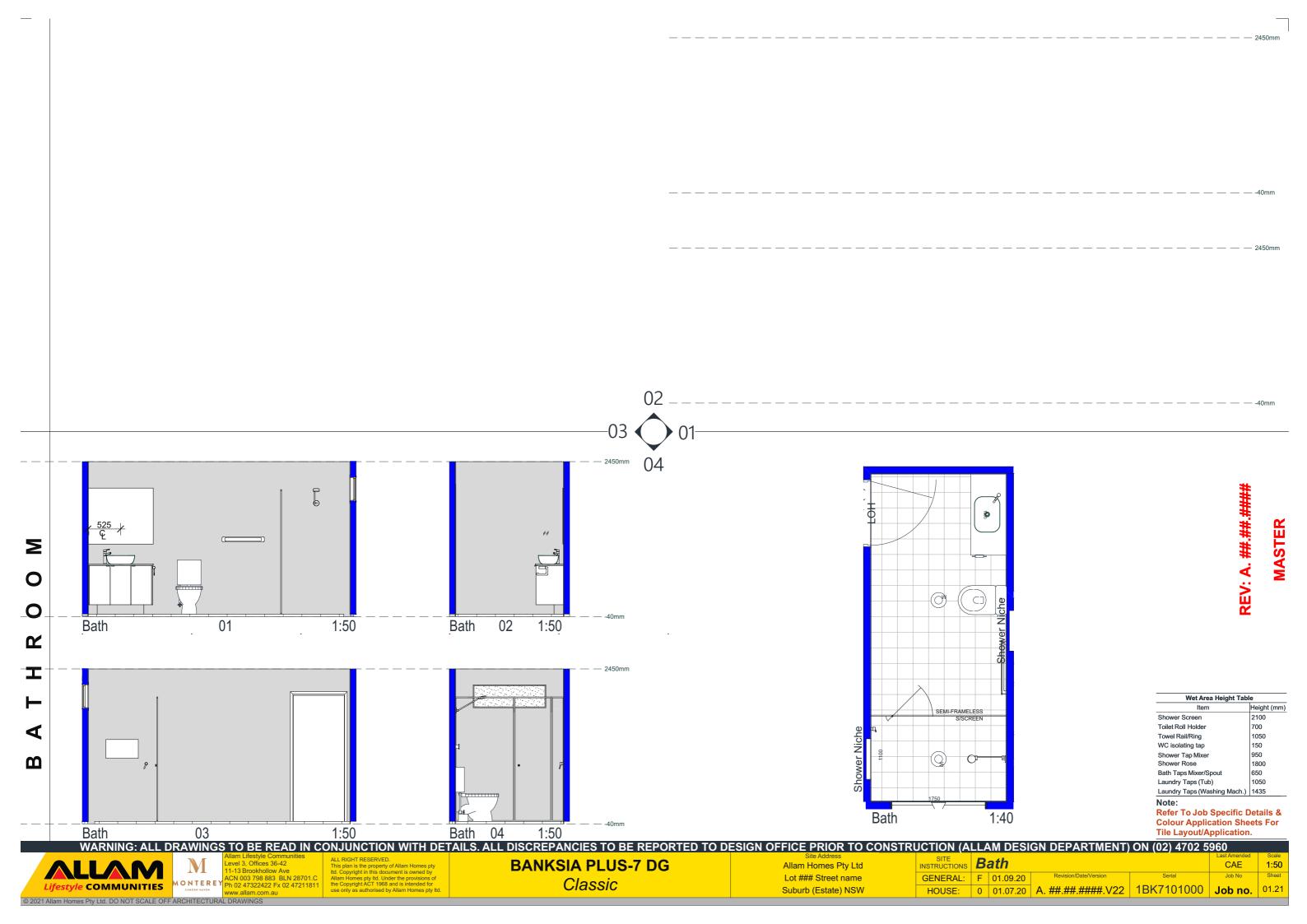


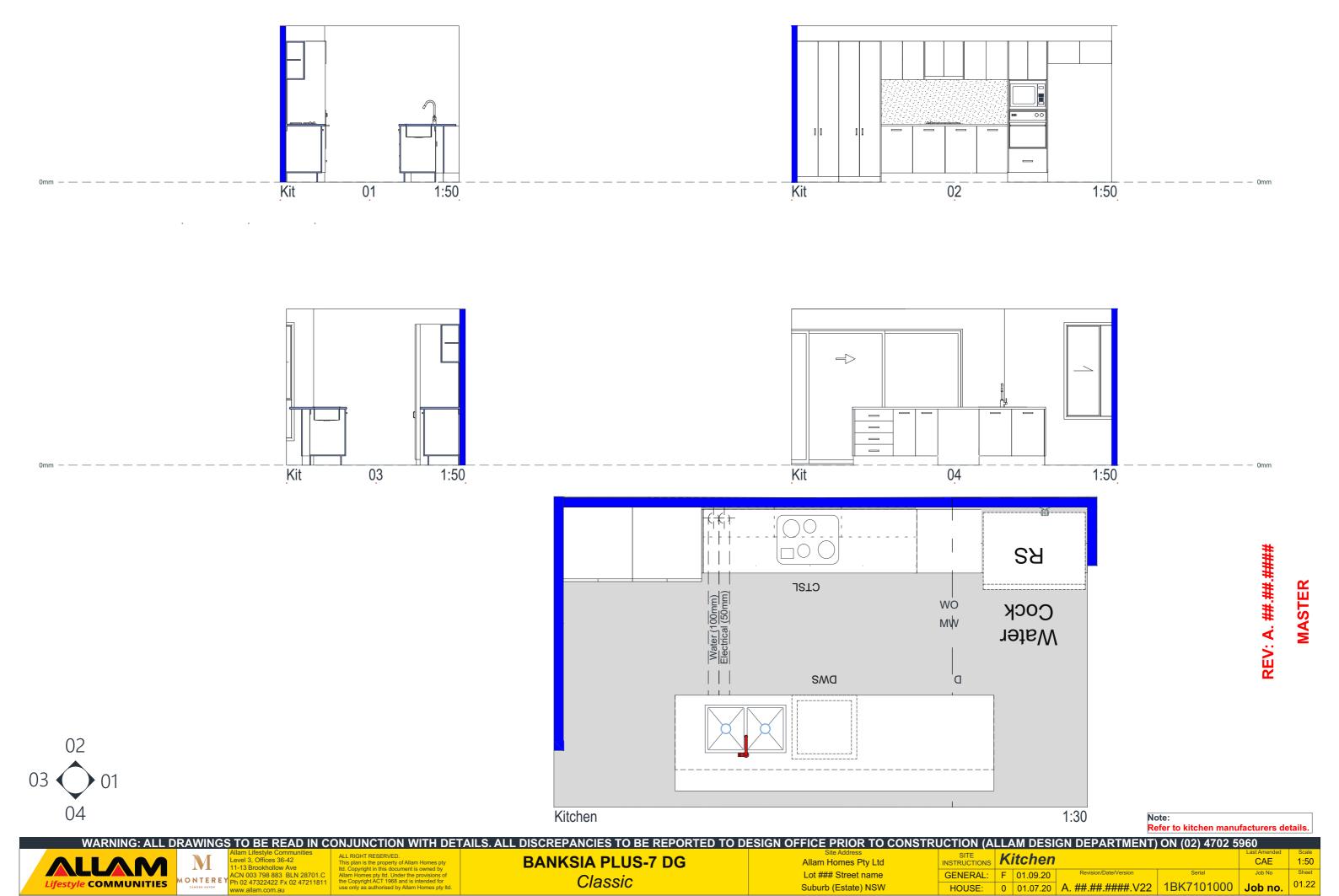




SITE INSTRUCTIONS TILE Specification
GENERAL: F 01.09.20 Revision/Date/Versi **BANKSIA PLUS-7 DG** Allam Homes Pty Ltd Classic HOUSE: 0 01.07.20 A. ##.##.##.V22 1BK7101000 **Job no.** 01.19 Suburb (Estate) NSW







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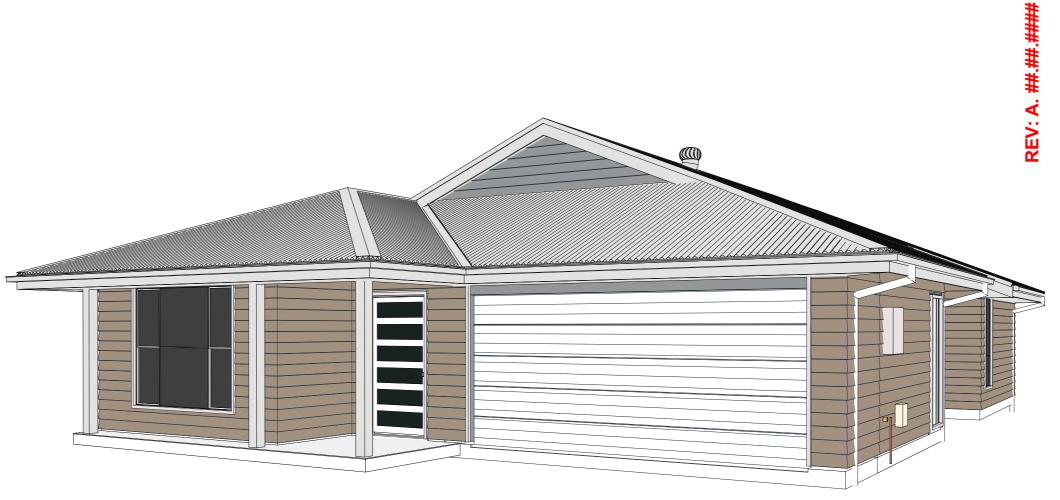
Finishes Legend

External Scheme -

Cladding:

Hebel:

Posts:



WARNING

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Level 3, Offices 38,642
11-13 Brookhollow Ave
ACN 003 798 883 BLN 28701.C
Ph 02 47322422 Fx 02 47211811
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BANKSIA PLUS-7 DG
Allam Homes Pty Ltd.
Lot ### Street name
Suburb (Estate) NSW

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BERSON DEPARTMENT) ON (02) 4702 5960

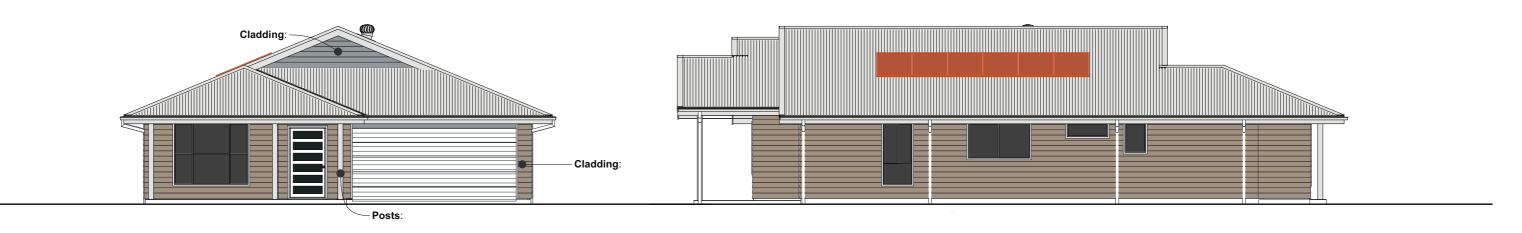
CAE

Site Address
Allam Homes Pty Ltd
Lot ### Street name
Suburb (Estate) NSW

BO 10.09.20
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CAE

Scale
REFERT To



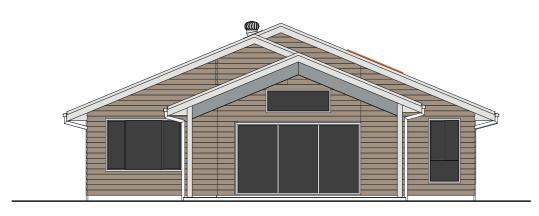
Finishes Legend

External Scheme -

Cladding:

Hebel:

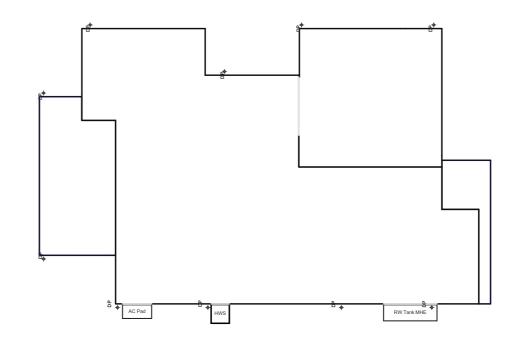
Posts:





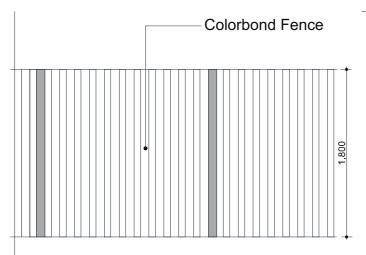
VARNING

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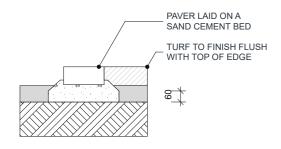


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Level 3, Offices 36-42
11-13 Brookhollow Ave
ACN 003 798 883 BLN 28701.C
Ph 02 47322422 Fx 02 47211811
www.allam.com.au **BANKSIA PLUS-7 DG** Allam Homes Pty Ltd Lot ### Street name Classic **Lifestyle COMMUNITIES** Suburb (Estate) NSW © 2021 Allam Homes Pty Ltd. DO NOT SCALE OFF ARCHITECTURAL DRAWINGS



NOTE: Gates to be made from same materials as fence, All fixings to be galvanised, trip latches fitted

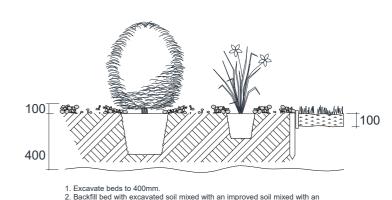
FENCE - TYPE B



Note: stakes should not be required to support trees. However, should stakes be used 80mm mulch dished around to protect/shield plant during base of plant-do not allow establishment period, ensures mulch to be in contact stakes do not pierce rootball. with stem Tiles should be in figure 8 Planting hole to be min. 300mm wider and 150mm deeper than configuration using jute webbing container. Backfill with 3:1 insitu soil to sandy loam Scarify sides and base of planting hole to NATSPEC Guidelines Insitu soil Provide spade edge (if located within lawn) Re-cut as part of regular maintenance 10-20mm aggregate to 100mm depth (increase depth) Rootball-reject stock with spiraling roots or confined within container to assist in subsoil drainage. In clay and heavy soils . Subsoil drainage to be installed and 2 x 21gm "Agriform" fertilizer connected to approved outlets tablets or equivalent there of Break up subsoil to a min.

300mm depth

TREE PLANTING FOR ADVANCED STOCK



improved garden loam

PLANTED BEDS

GARDEN EDGE DETAIL

LANDSCAPE SPECIFICATIONS

- Turf Underlay: 100mm thick layer of screened top soil

Kikuyu Turf

GARDEN AREA:

- Soil:

300mm thick layer of premium garden mix.

- Mulch: 75mm thick layer of 10mm pine bark mulch.

- Plants per site average:

2 x 25L pot size trees

20 x 300mm pot size plants

20 x 200mm pot size plants 15 x 140mm pot size plants.

Trees to be staked as required; all stakes shall be durable hardwood sharpened to a point at one end and free from knots and twists;

15 Litre to 35 Litre: 25 x 25 x 1500mm, 2 stakes per plant.

45 Litre to 100 Litre: 38 x 38 x 1800mm, 2 stakes per plant

Tiles shall be 50mm wide hessian webbing.

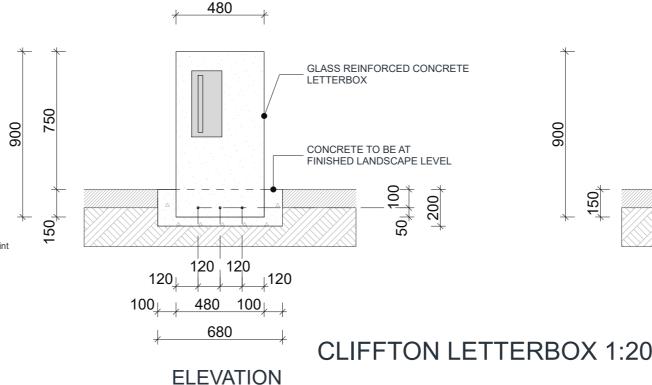
BRICK EDGE:

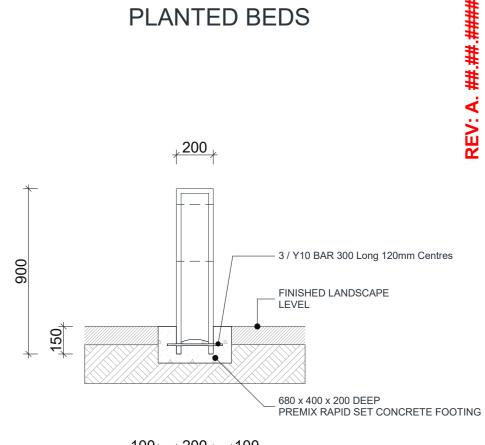
- 50mm thick charcoal Havenbrick on sand and cement mix.

PEBBLE AREA:

- Pebble underlay : 100mm - 200mm thick layer of consolidated road base.

: 75mm thick layer of 20mm decorative pebbles. - Pebble



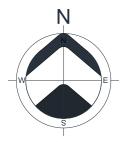


400

SECTION

DISCREPANCIES TO BE REPORTED TO DESIGN OFFICE PRIOR TO CONSTRUCTION (ALLAM DESIGN DEPARTMENT) ON (02) 4702 5960 INSTRUCTIONS Landscape Details **BANKSIA PLUS-7 DG** Allam Homes Pty Ltd Classic HOUSE: 0 01.07.20 A. ##.##.###.V22 1BK7101000 **Job no.** Suburb (Estate) NSW

REV: A. ##.##.####



PV LAYOUT							
SYSTEM SIZE	2.49kW						
PANELS	(6) 415 W Panel (1762 x 1134 x 30)						

