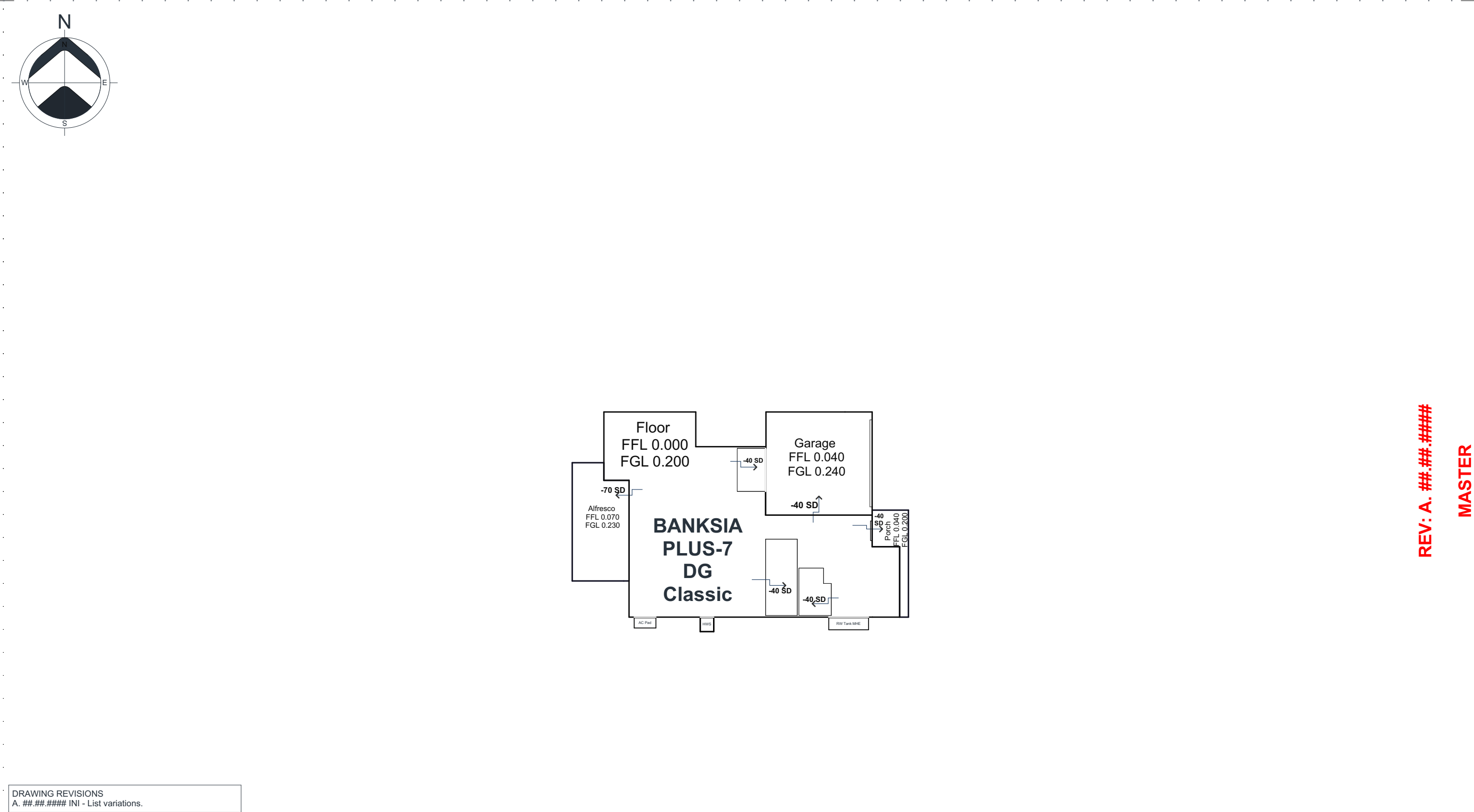


Layout No:	Layout Name	Rev
01.1	Cover Sheet	
01.2	Site	
01.3	Ground Floor	
01.4	Elevation A/B	
01.5	Elevation C/D	
01.6	Section X/Y	
01.7	Site Analysis	
01.8	Fencing & Retaining Layout	
01.9	Retaining Wall Details	
01.10	Waste & Drainage	
01.11	Slab Setout Ground	
01.12	Slab Details	
01.13	Sub Floor Ground	
01.14	Slab Relocation Plan	
01.15	Ground Floor Electrical	
01.16	Wall Section 1	
01.17	Associated Details 1	
01.18	Associated Details 2	
01.19	Tile Specification	
01.20	Ensuite - Laundry	
01.21	Bath	
01.22	Kitchen	
01.23	Colour Application	
01.24	Paint Application	
01.25	Colour Perspectives	
01.26	Landscape	
01.27	Landscape Details	
01.28	Solar Panel Layout	
01.29	Furniture Layout	
01.30	WHS Plan	

REV: A. ##.##.####

MASTER



REV: A. ###.###.####  
MASTER

DRAWING REVISIONS
A. ###.###.#### INI - List variations.

**NOTE:** Also Refer To Index Sheet For Additional Plans.

- Waste & Drainage.
- Fencing & Retaining.
- Slab Setout.
- Site Analysis.
- Landscape.

**GENERAL NOTES:**

- Landscaping To The Front & Rear Yards As Indicated On The Landscape Plan.
- Retaining Wall Where Required By Builder.
- Provide An Edgeboard Survey To Confirm The Position Of The Home & Finished Floor Levels.
- Provide 1800mm High Chain Wire Temporary Safety Fencing In Accordance With Work Cover Requirements Under The Occupational Health & Safety Act To All Unfenced Boundaries Including Double Hinged Gates To Front Access.

WARNING: ALL DRAWINGS TO BE READ IN CONJUNCTION WITH DETAILS. ALL DISCREPANCIES TO BE REPORTED TO DESIGN OFFICE PRIOR TO CONSTRUCTION (ALLAM DESIGN DEPARTMENT) ON (02) 4702 5960												
	 <small>CANDEN HAYEN</small>	Allam Lifestyle Communities Level 3, Offices 36-42 11-13 Brookhollow Ave ACN 003 798 883 BLN 28701.C Ph 02 47322422 Fx 02 47211811 www.allam.com.au	ALL RIGHT RESERVED. This plan is the property of Allam Homes Pty Ltd. Copyright in this document is owned by Allam Homes Pty Ltd. Under the provisions of the Copyright ACT 1968 and is intended for use only as authorised by Allam Homes Pty Ltd.	BANKSIA PLUS-7 DG <i>Classic</i>	Site Address Allam Homes Pty Ltd Lot ### Street name Suburb (Estate) NSW	SITE INSTRUCTIONS		Site		Last Amended	Scale	
						GENERAL:	F	01.09.20	Revision/Date/Version	Serial	Job No	Sheet
						HOUSE:	0	01.07.20	A. ##.##.####.v22	1BK7101000	Job no.	01.2

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BIMcloud: AHBIM03 - BIMcloud/MHE Masters V27/BANKSIA/Classic/Banksia PLUS-7 DG Classic

\*Weather strips/seals to all external hung doors

**A/C** Air Con Fan Unit



Return Air



Man Hole

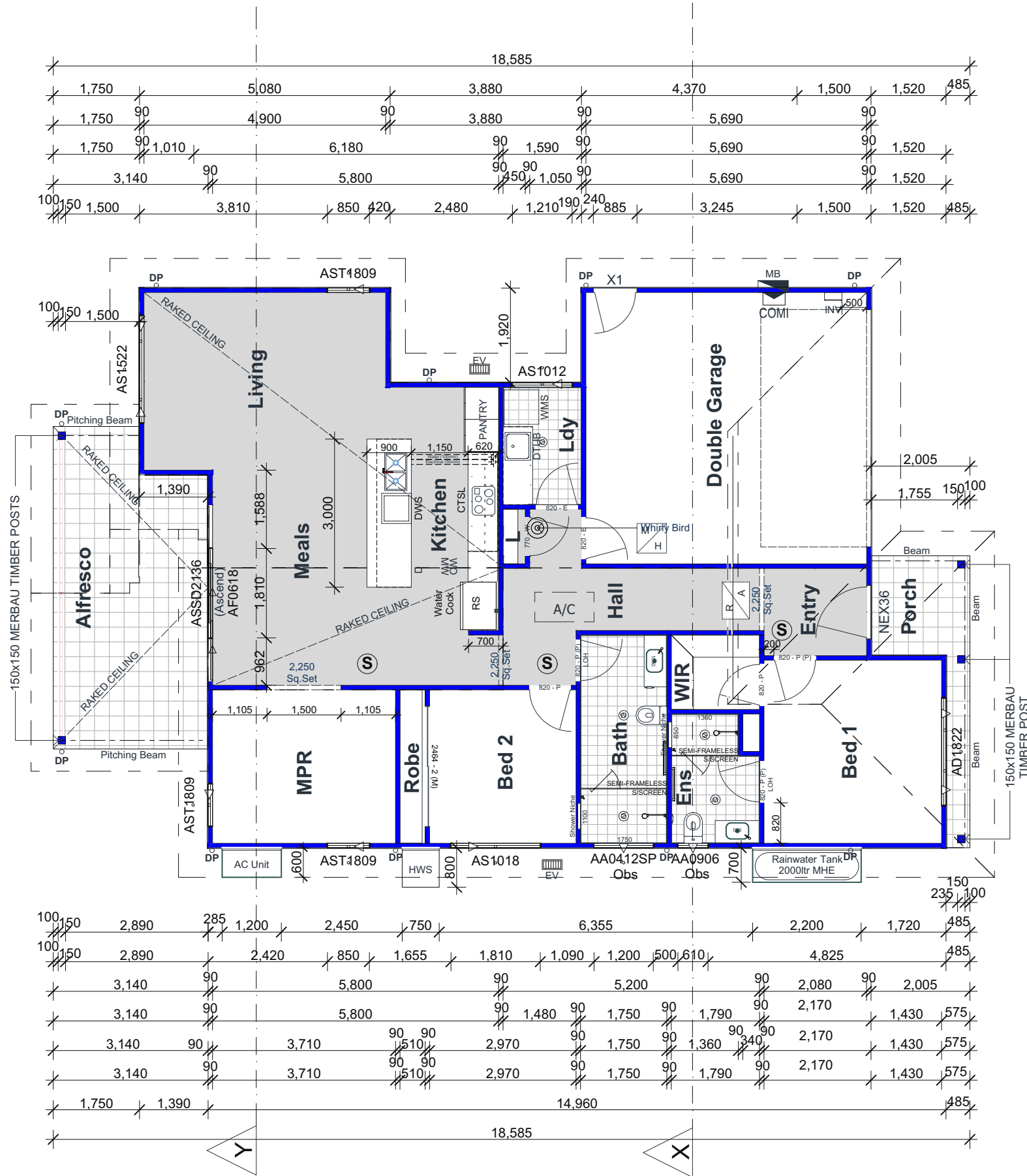
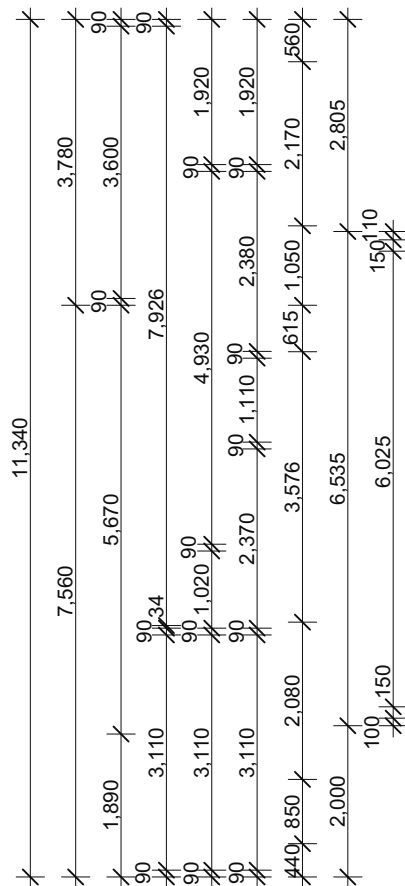


### Whirly Bird (300mm Throat Dia)

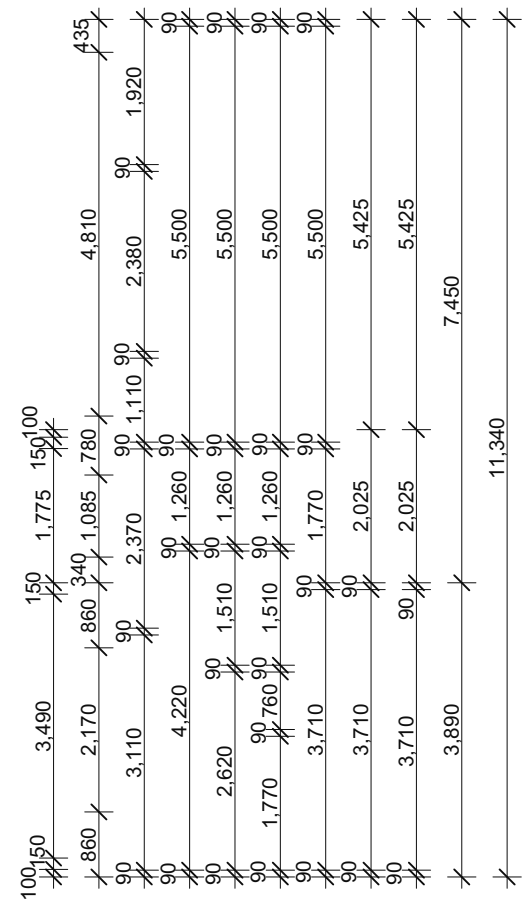


Eave Vent (400x200mm)

E = Entrance  
P = Passage  
(P) = Privacy  
W = Wardrobe  
LOH = Lift Off Hinge



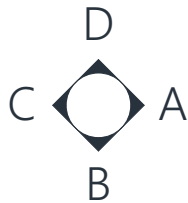
**SHADED AREA DENOTES  
VINYL FLOORING UNLESS  
OTHERWISE SPECIFIED ON  
THE JOB SPECIFIC COLOUR  
SELECTION SHEET**



FLOOR AREAS	
ALFRESCO	19.16
GARAGE	33.53
GROUND	122.60
PORCH	5.95
	<b>181.24 m²</b>

**REV: A. ##.##.###**

# MASTER



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**Allam Lifestyle Communities**  
Level 3, Offices 36-42  
11-13 Brookhollow Ave  
ACN 003 798 883 BLN 28701.C  
Ph 02 47322422 Fx 02 47211811  
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**BANKSIA PLUS-7 DG**  
*Classic*

Site Address  
Allam Homes Pty Ltd  
Lot ### Street name  
Suburb (Estate) NSW

## SITE INSTRUCTIONS

### GENERAL :

## Ground Floor

F	01.09.20
---	----------

0	01.07.20
---	----------

Revision/Date/Version

##.##.####.V22

Serial	Category	Value
1	Category 1	Value 1
2	Category 2	Value 2
3	Category 3	Value 3
4	Category 4	Value 4
5	Category 5	Value 5
6	Category 6	Value 6
7	Category 7	Value 7
8	Category 8	Value 8
9	Category 9	Value 9
10	Category 10	Value 10
11	Category 11	Value 11
12	Category 12	Value 12
13	Category 13	Value 13
14	Category 14	Value 14
15	Category 15	Value 15
16	Category 16	Value 16
17	Category 17	Value 17
18	Category 18	Value 18
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94	Category 94	Value 94
95	Category 95	Value 95
96	Category 96	Value 96
97	Category 97	Value 97
98	Category 98	Value 98
99	Category 99	Value 99
100	Category 100	Value 100

1BK7101000

last Amended	
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CAE

Job No	
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Job no.

Scale

:100

Sheet

01.3

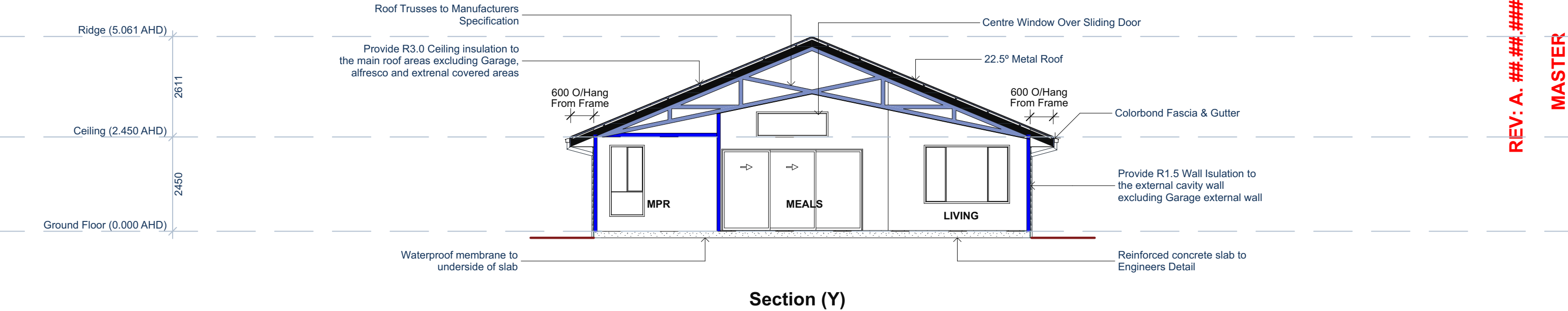
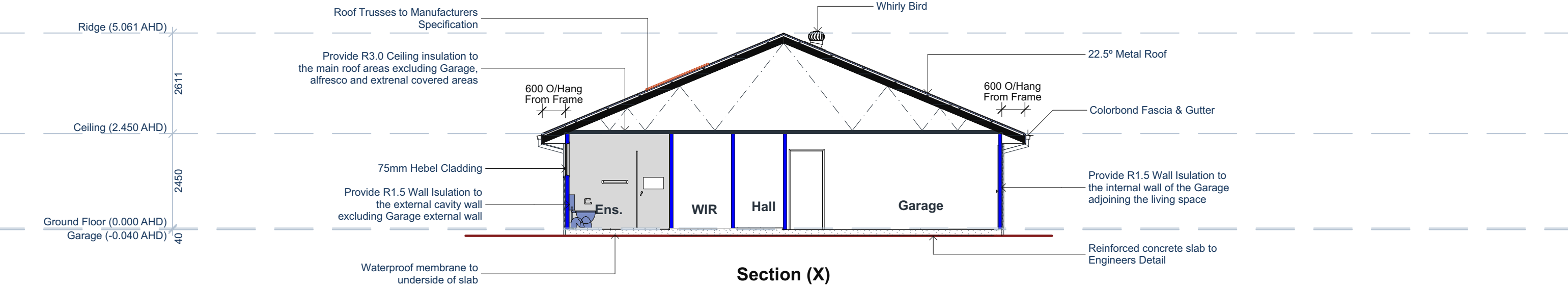
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**Note:**  
Windows Generic values- U 6.70 / SHGC 0.57 to 0.70



**CONDENSATION MANAGEMENT:**

- Exhaust Fans will be Compliant with NCC Clause 3.8.7.3.b (i), Australian Standard AS4200.1
- Wall wrap to be in accordance with Clause 3.8.7.2 of NCC 2019 & AS4200.1 & Installed in Compliance with AS4200.2

**ROOF RAINWATER:**

- Provide overflow measures for gutters and downpipes: Compliant with NCC Clause 3.5.3

**STAIRS, RAMP & LANDINGS:**

- Internal & External: Bounded by walls: Compliant with NCC Clause 3.9.1
- Internal & External: Finish of nosings/slip resistance: Compliant with NCC Clause 3.9.1.4

**BALLUSTRADES:**

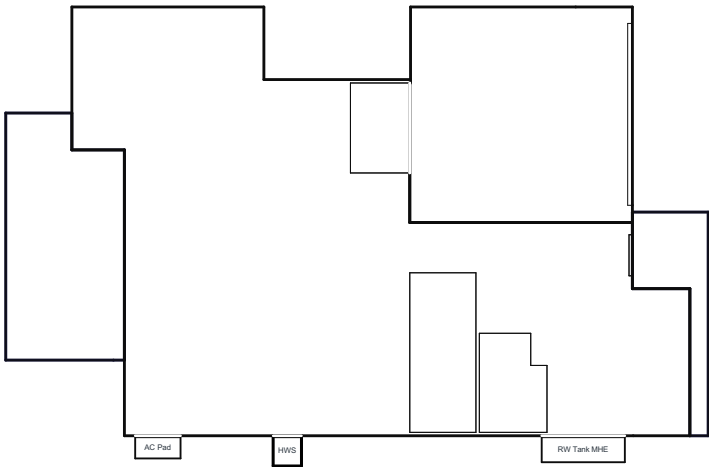
- Internal/External: All installations: Compliant with NCC 3.9.2; Clause 3.9.2.3 & 3.9.2.4 as applicable for handrails

**ELECTRICAL:**

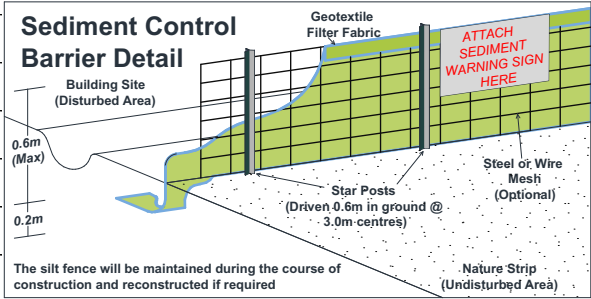
- Smoke Alarms: Installation to NCC Clause 3.7.5

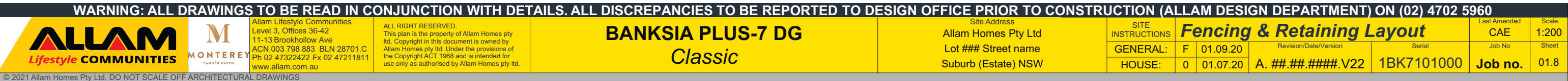
LIGHTING & VENTILATION TABLE					
Zone Name	Floor Area Total	Natural Lighting Area Required (Min. 10%)	Proposed Natural Lighting Area	Natural Ventilation Area Required (Min. 5%)	Proposed Natural Ventilation Area
Bed 1	13.73	1.373	2.880	0.687	1.440
Bed 2	8.739	0.874	2.160	0.437	1.080
Meal/Kitchen	28.68	2.868	8.457	1.434	4.619
Living	17.640	1.764	5.162	0.882	1.610
MPR	11.54	1.154	3.24	0.577	1.02

NOTE. HOUSING RETAINING WALL SUBSOIL DRAINAGE TO CONNECT TO EXISTING CIVIL RETAINING WALL SUBSOIL DRAINAGE LINE. SUBSOIL DRAINAGE LINE IS TO EXIT SITE VIA A SILT PIT TO DEDICATED DISCHARGE POINT COMPLYING WITH APPROPRIATE AUTHORITY. DO NOT CONNECT ROOF & SURFACE WATER DRAINAGE LINES TO RETAINING WALL SUBSOIL DRAINAGE LINE. STORMWATER & SUBSOIL DRAINAGE IS TO COMPLY WITH ABCB HOUSING PROVISIONS STANDARD 2022 PART 3.3



REV: A. ##.##.####  
MASTER



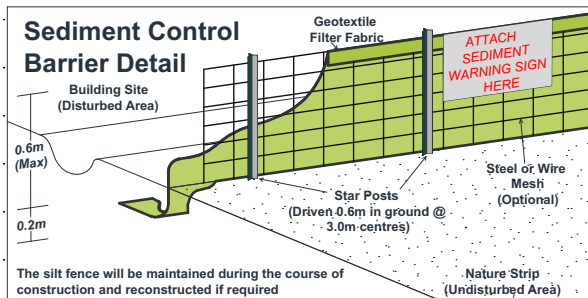
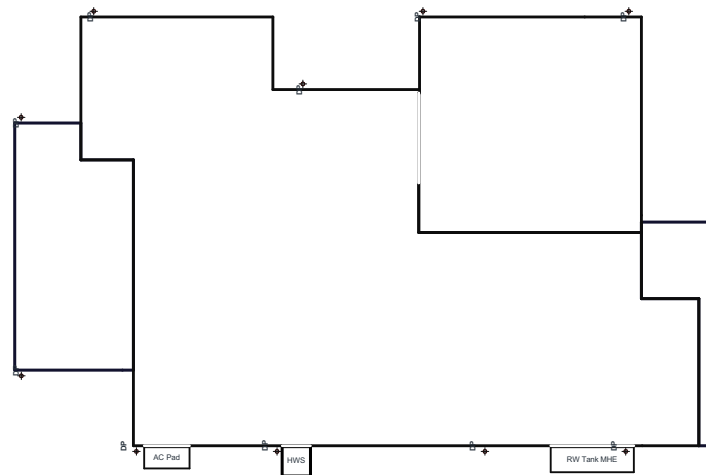




REV: A. ##.##.####

MASTER

HOUSING RETAINING WALL SUBSOIL DRAINAGE TO CONNECT TO EXISTING CIVIL  
RETAINING WALL SUBSOIL DRAINAGE LINE.  
SUBSOIL DRAINAGE LINE IS TO EXIT SITE VIA A SILT PIT TO DEDICATED DISCHARGE  
POINT COMPLYING WITH APPROPRIATE AUTHORITY.  
DO NOT CONNECT ROOF & SURFACE WATER DRAINAGE LINES TO RETAINING WALL  
SUBSOIL DRAINAGE LINE.  
STORMWATER & SUBSOIL DRAINAGE IS TO COMPLY WITH ABCB HOUSING  
PROVISIONS STANDARD 2022 PART 3.3



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*Classic*

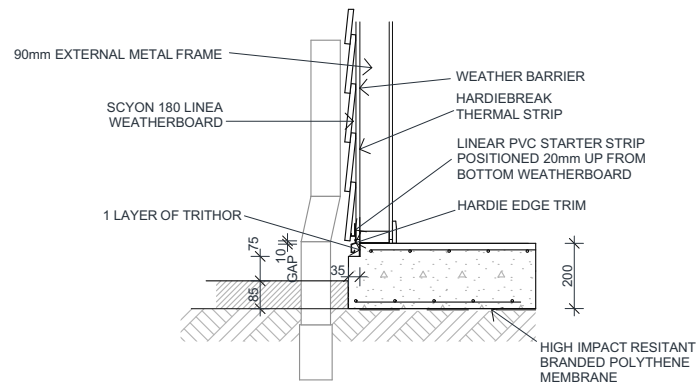
Site Address  
Allam Homes Pty Ltd  
Lot ### Street name  
Suburb (Estate) NSW

SITE INSTRUCTIONS		<b>Waste &amp; Drainage</b>			Last Amended CAE		Scale 1:200	
GENERAL:		F	01.09.20	Revision/Date/Version		Serial		Job No
HOUSE:		0	01.07.20	A. ##.##.####.V22		1BK7101000		Job no. 01.10

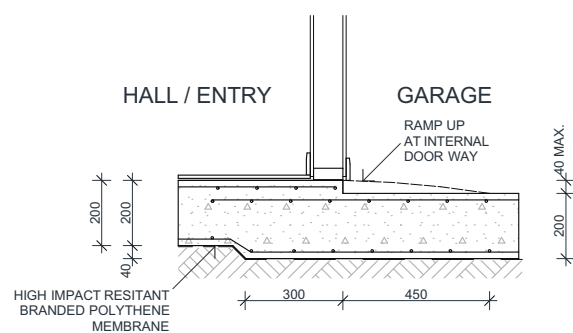
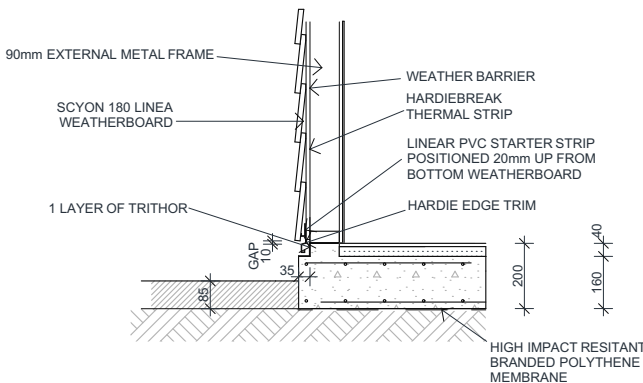
REV: A. ##.##.###

**MASIER** . . .

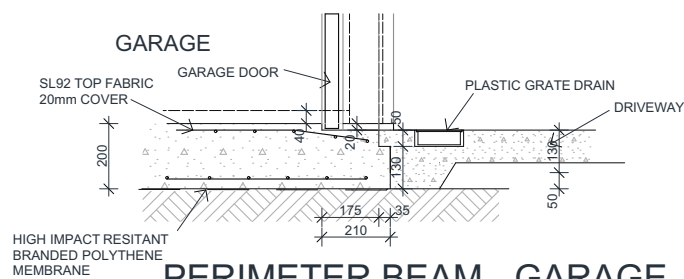
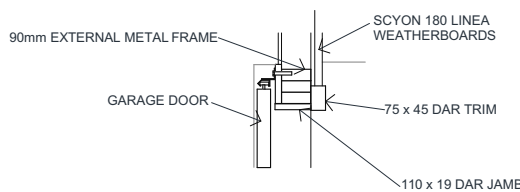




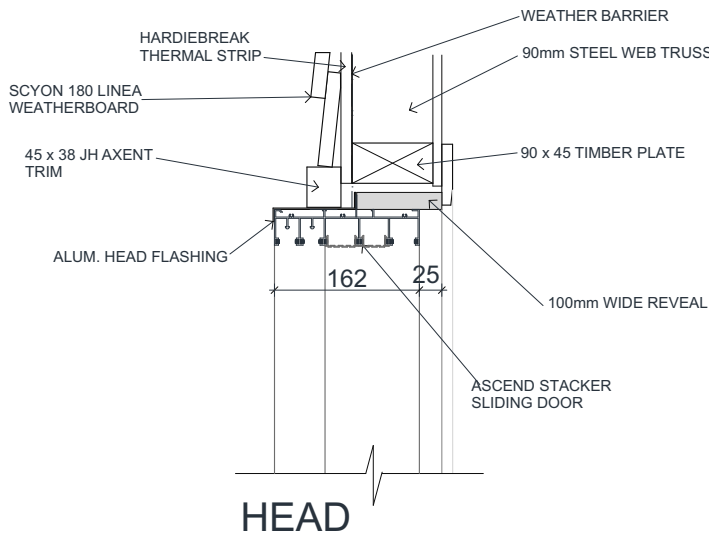
PERIMETER BEAM - HOUSE  
SCYON 180 LINEA CLADDING



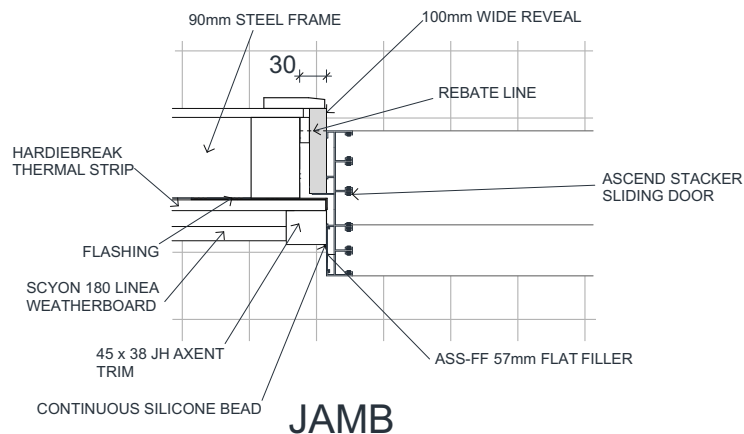
INTERNAL STEP DOWN  
THRU WALL



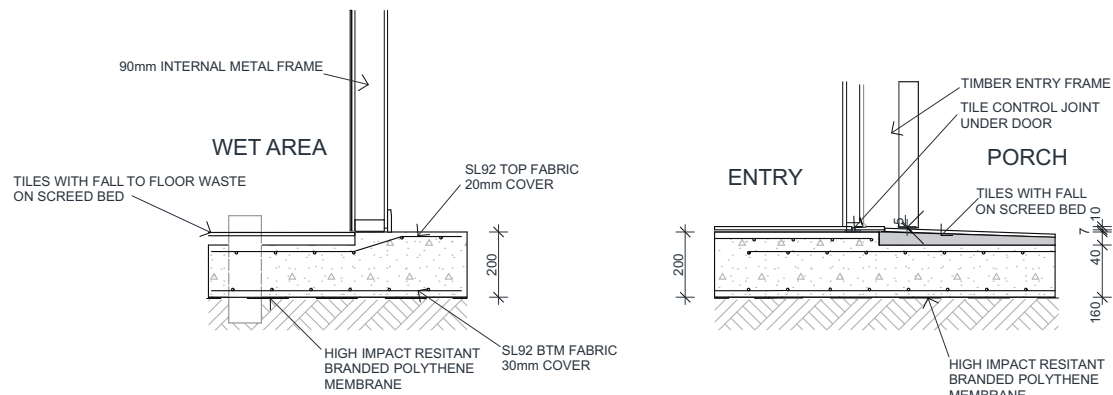
PERIMETER BEAM - GARAGE  
SCYON 180 LINEA CLADDING



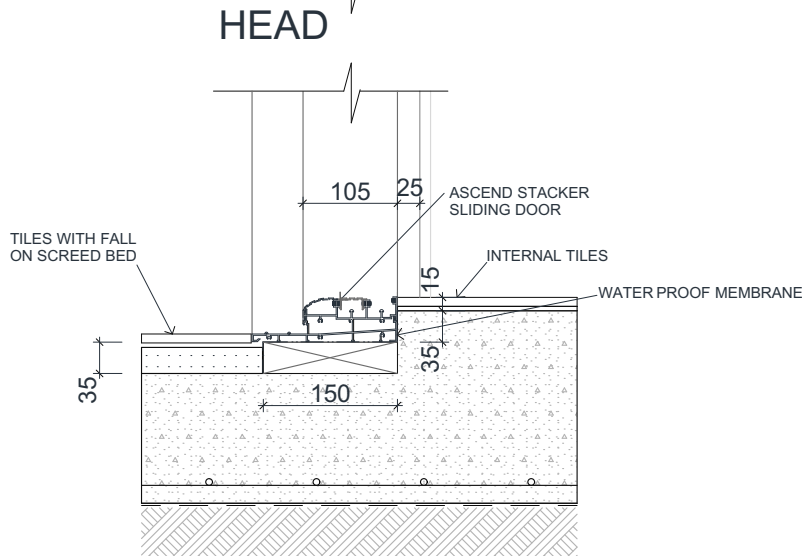
HEAD



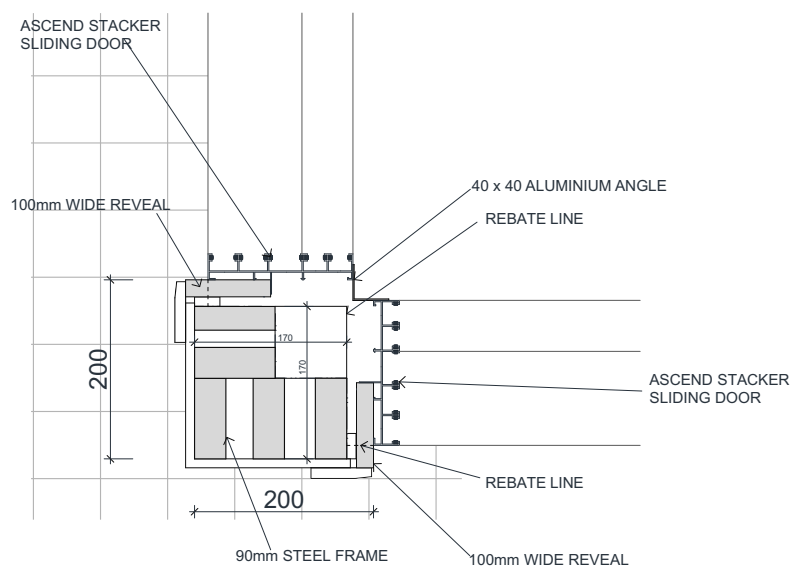
JAMB



INTERNAL STEP DOWN  
THRU WALL



THRESHOLD



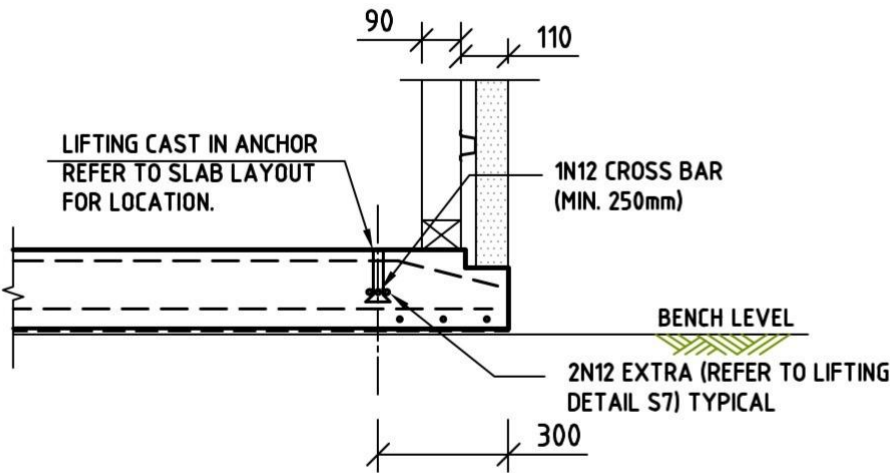
INTERNAL STACKER DOORS JUNCTION

REV: A. ###.###.####

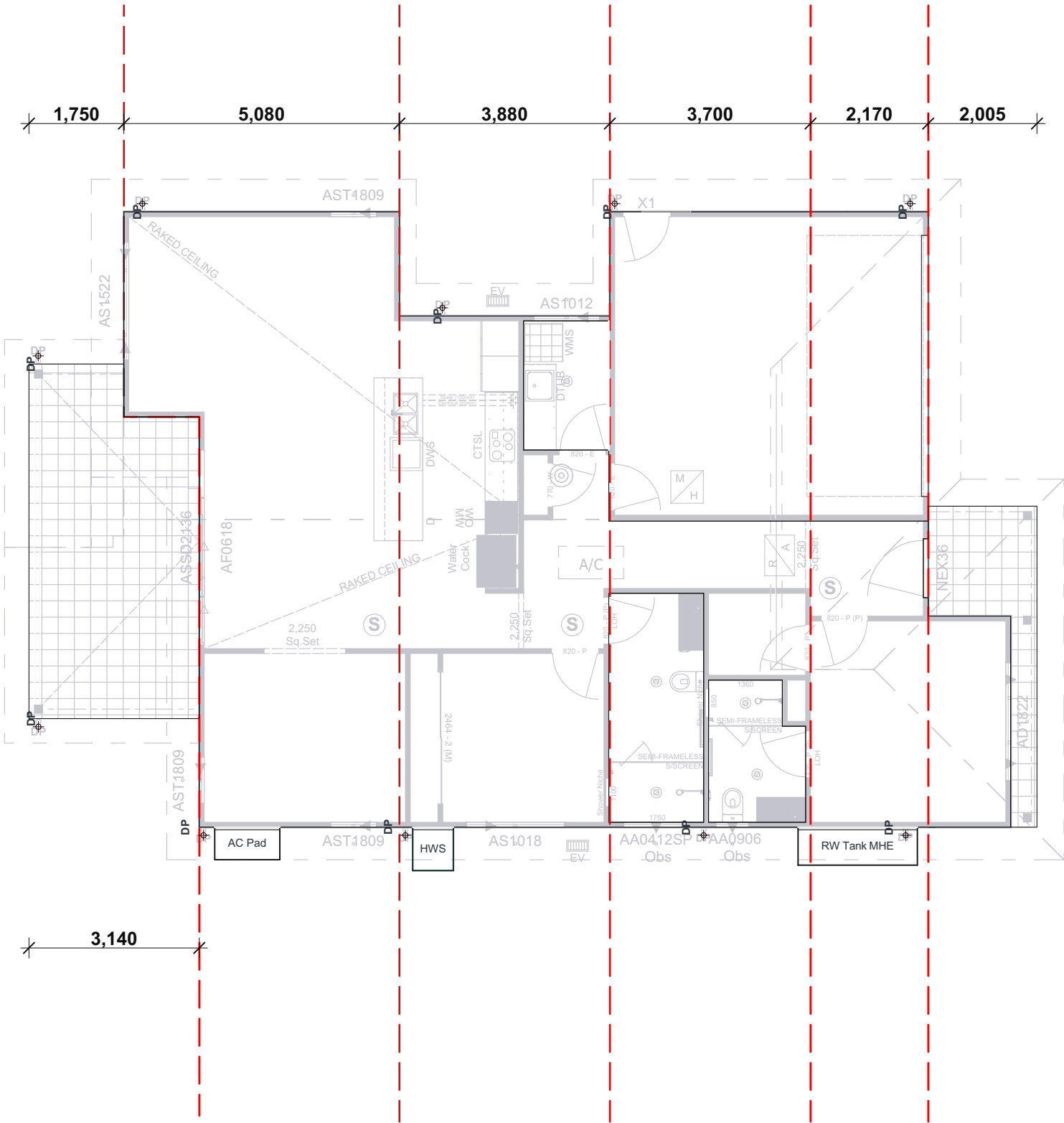
MASTER



NOTE : REFER TO ENGINEERS DETAILS



EDGE DETAIL WITH LIFTING ANCHORS



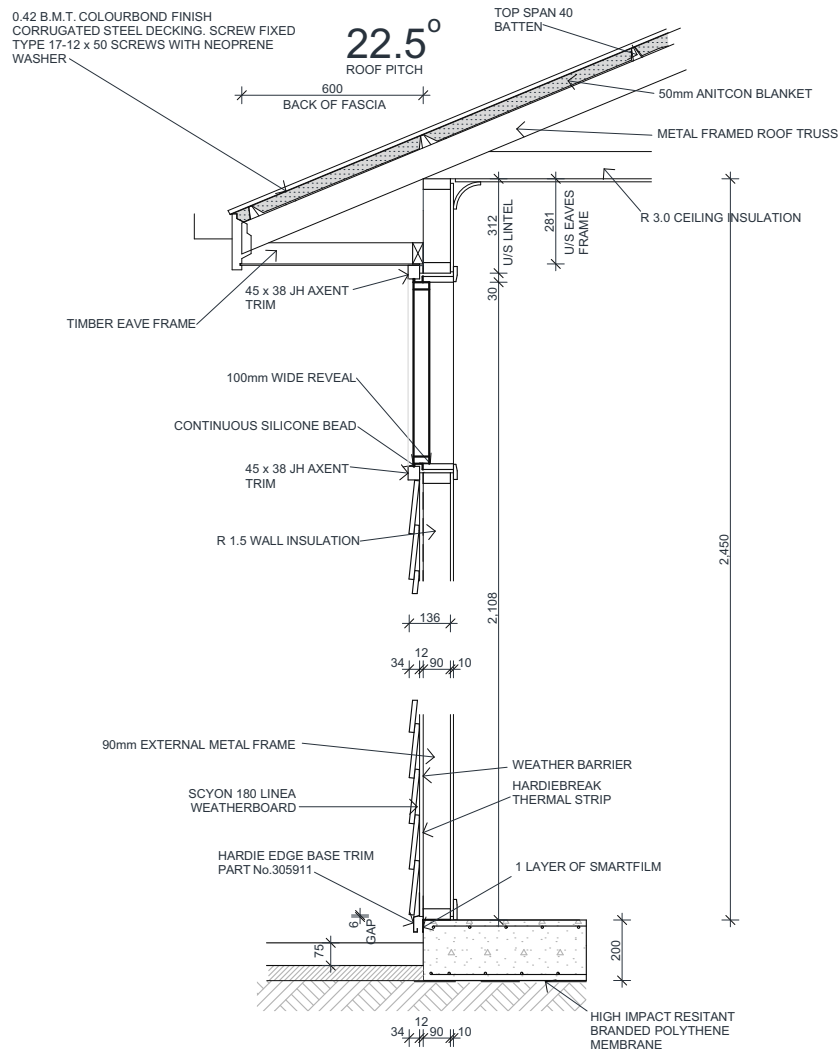
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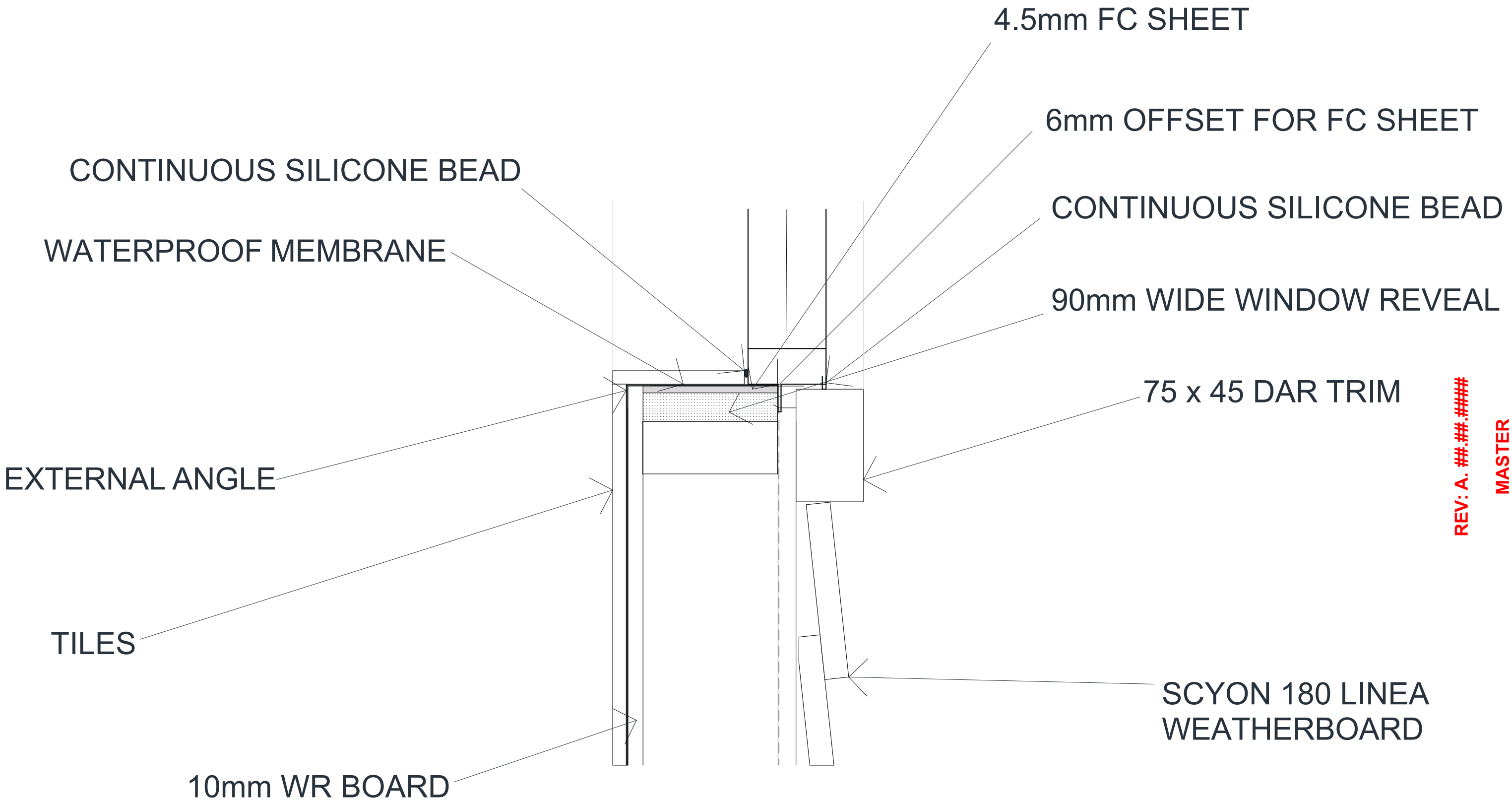
<b>Job no.</b>	01.15
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MASIER



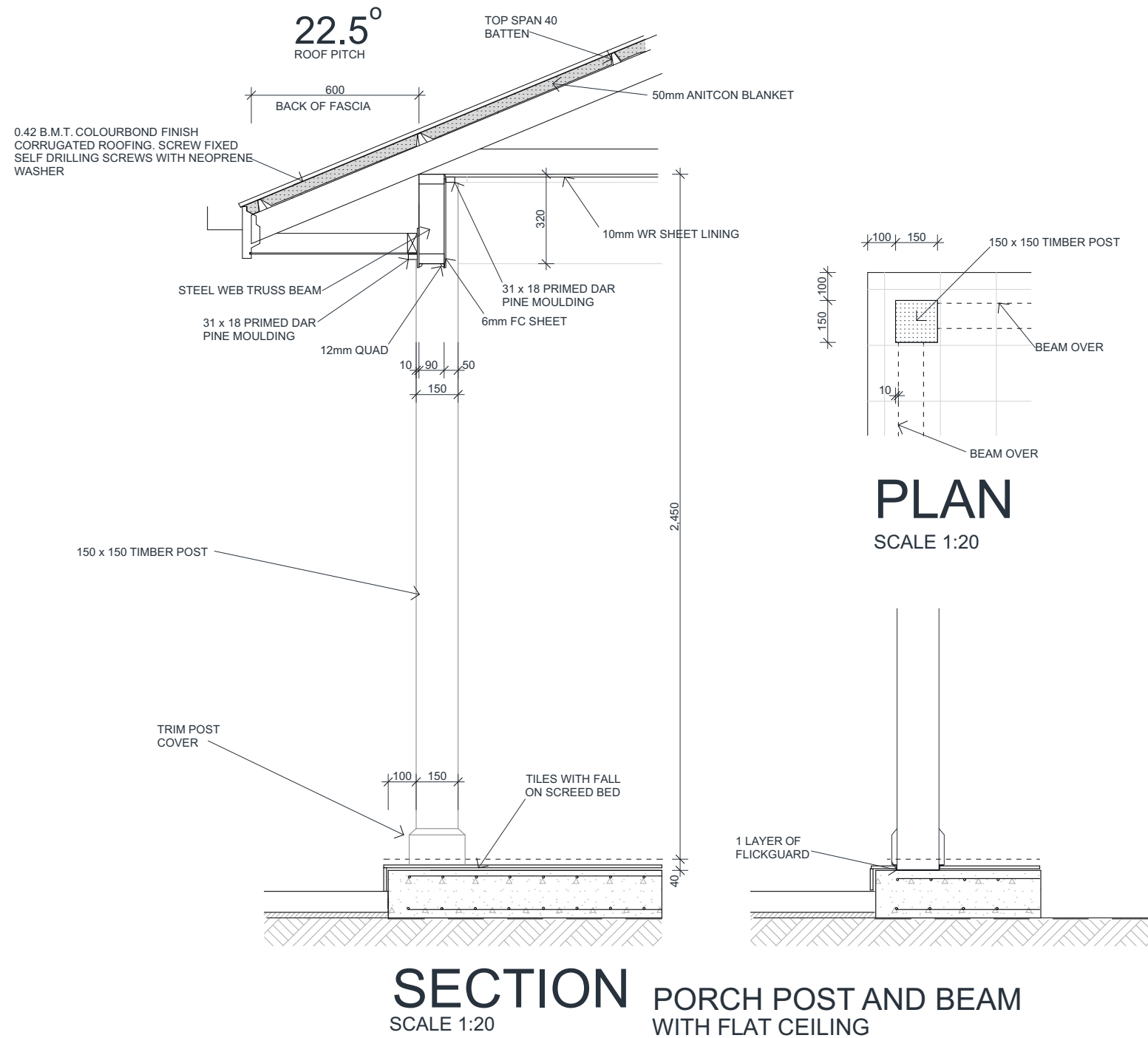
PERIMETER BEAM - HOUSE  
TYPE B - FULL SCYLON LINEA 180 (16mm) WALL

REV: A. ##.##.####  
MASTER



REV: A. ##.##.####  
MASTER

TYPE B - FULL SCYON LINEA 180 (16mm) WALL



REV: A. ##.##.####

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**BANKSIA PLUS-7 DG**  
*Classic*

Site Address  
Allam Homes Pty Ltd  
Lot ### Street name  
Suburb (Estate) NSW

SITE  
INSTRUCTIONS  
GENERAL: F  
HOUSE: 0

**Associated Details 2**

Revision/Date/Version  
A. ##.##.####.V22

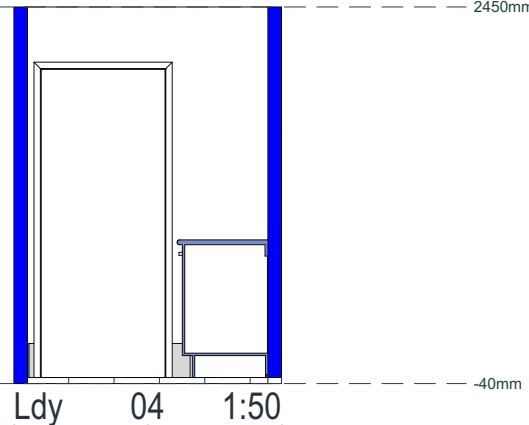
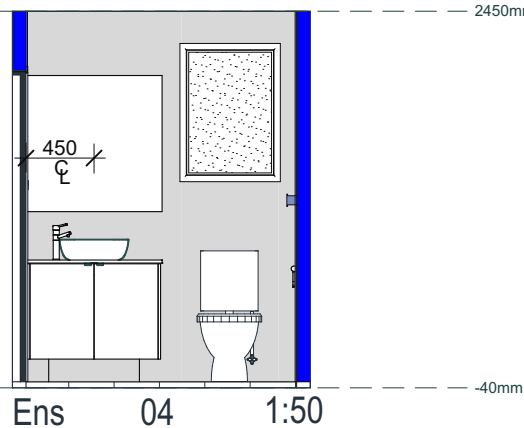
Serial  
1BK7101000

Last Amended  
CAE  
Job No  
**Job no.**

Scale  
REFER TO  
DETAIL  
Sheet  
01.18



# LAUNDRY



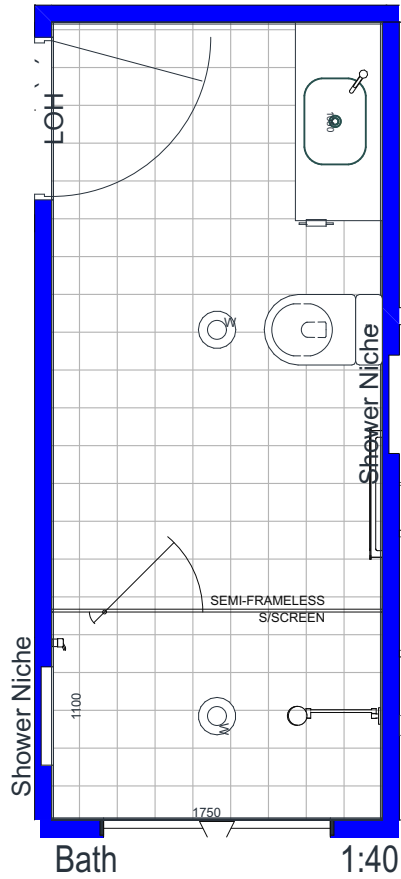
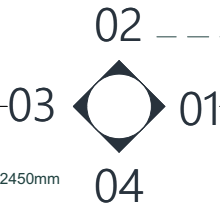
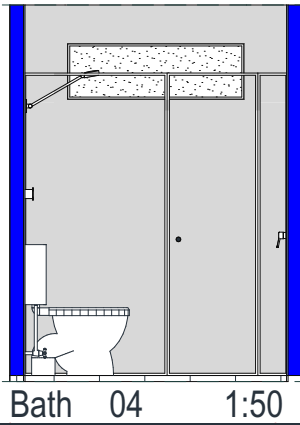
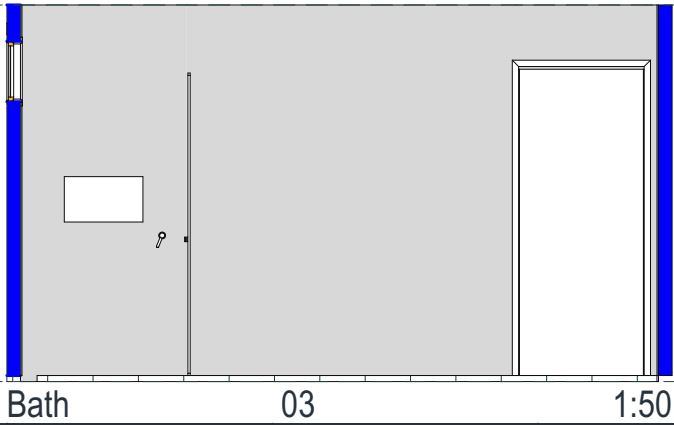
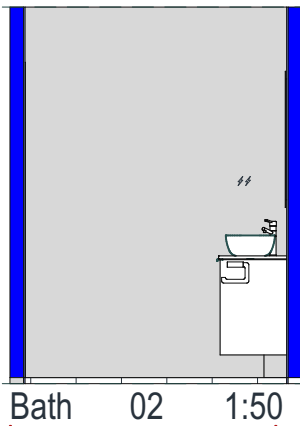
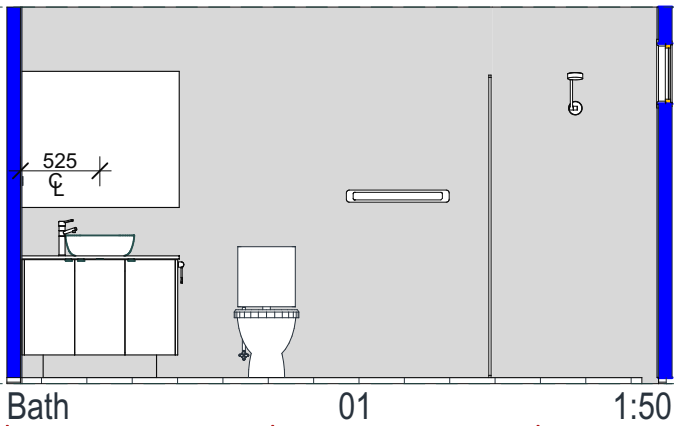
**Note:**  
Refer To Job Specific Details &  
Colour Application Sheets For  
Tile Layout/Application.

SITE INSTRUCTIONS	<b>Ensuite - Laundry</b>					Last Amended	Scale
GENERAL:	F	01.09.20	Revision/Date/Version	Serial		CAE	1:50
HOUSE:	0	01.07.20	A. ### #### V22	1BK7101000		Job no.	01.20

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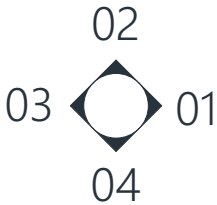
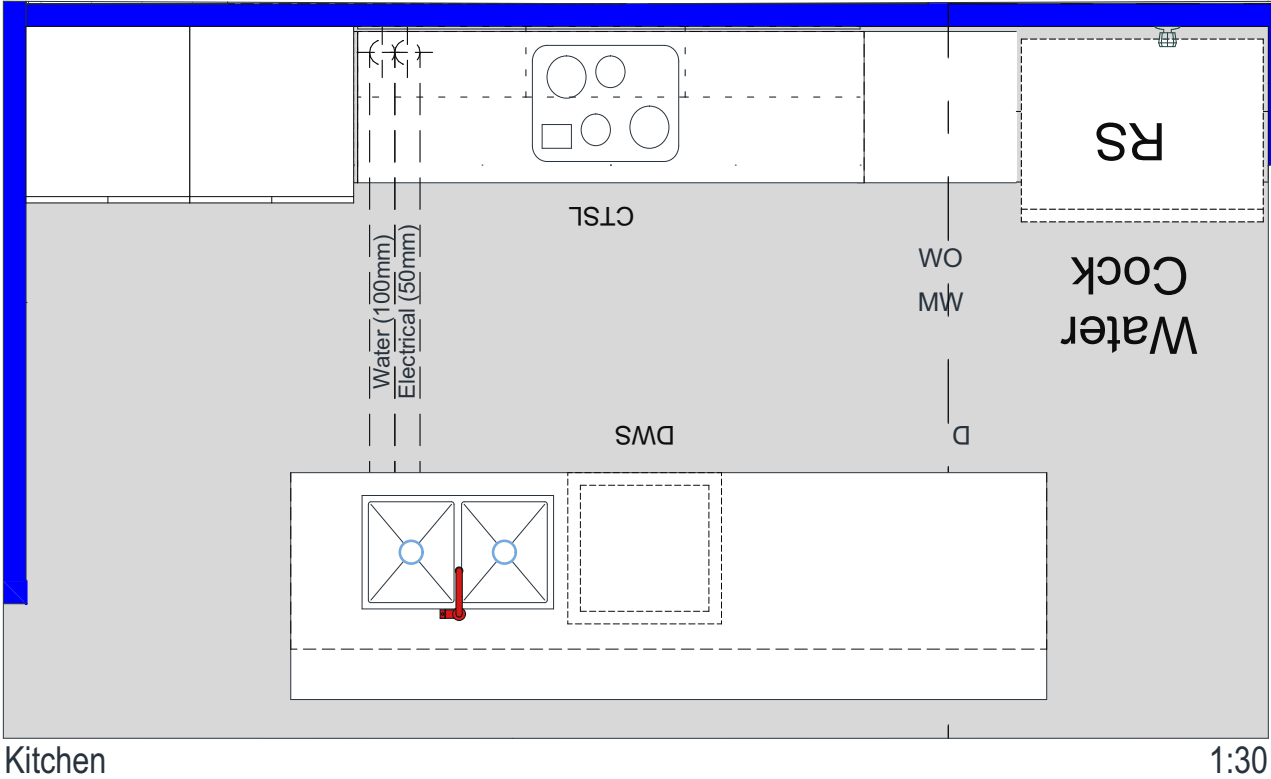
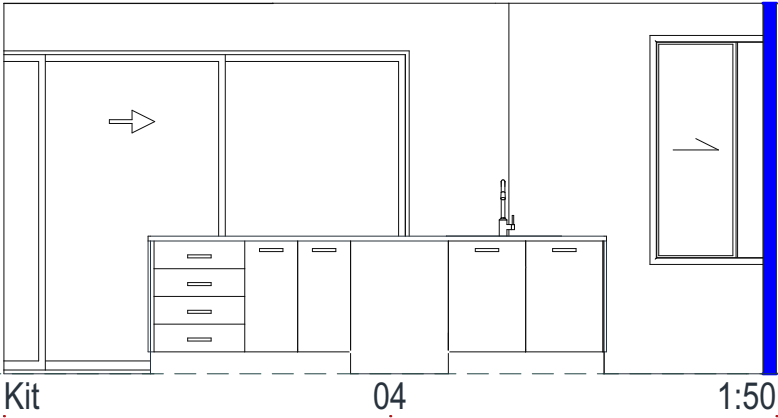
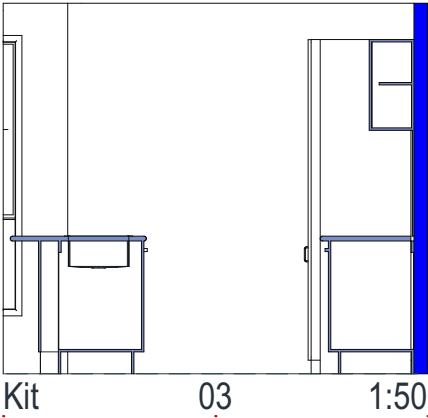
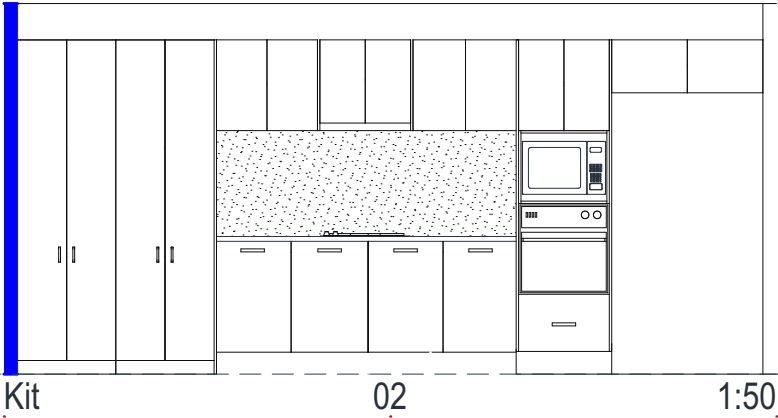
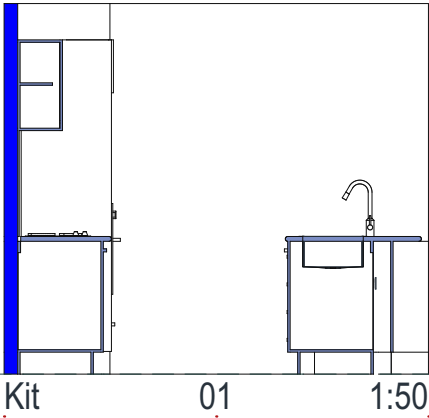
BATHROOM



REV: A. ##.##.####  
MASTER

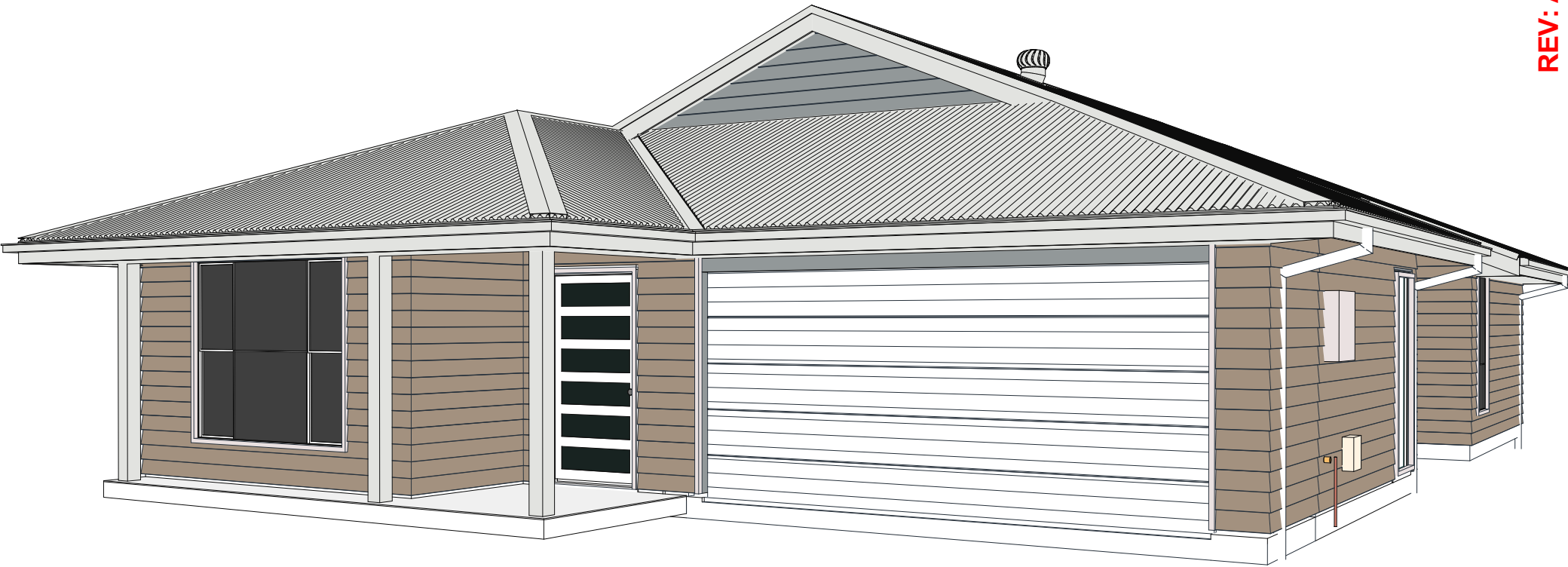
Wet Area Height Table	
Item	Height (mm)
Shower Screen	2100
Toilet Roll Holder	700
Towel Rail/Ring	1050
WC isolating tap	150
Shower Tap Mixer	950
Shower Rose	1800
Bath Taps Mixer/Spout	650
Laundry Taps (Tub)	1050
Laundry Taps (Washing Mach.)	1435

Note:  
Refer To Job Specific Details &  
Colour Application Sheets For  
Tile Layout/Application.



REV: A. ##.##.####  
MASTER

Note:  
Refer to kitchen manufacturers details.



Finishes Legend

External Scheme -

Cladding:

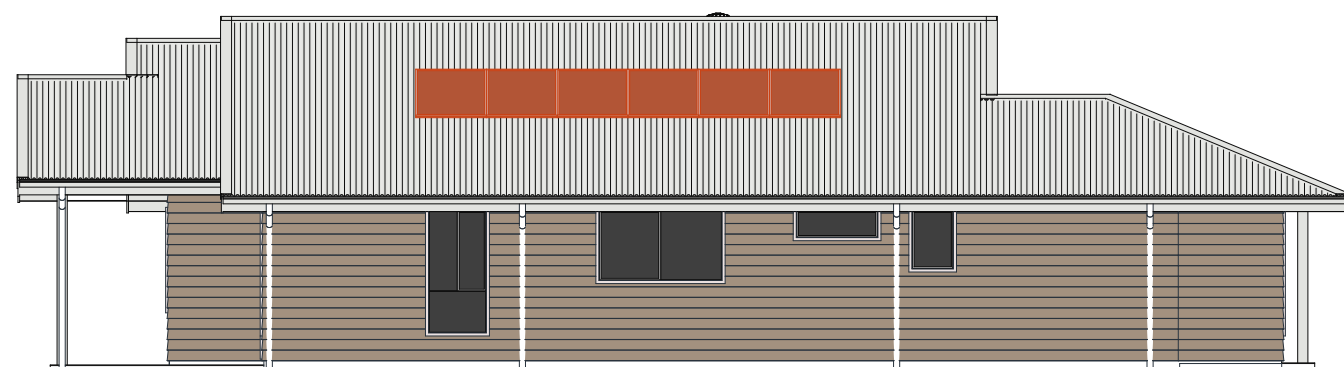
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REV: A. ##.##.####

MASTER

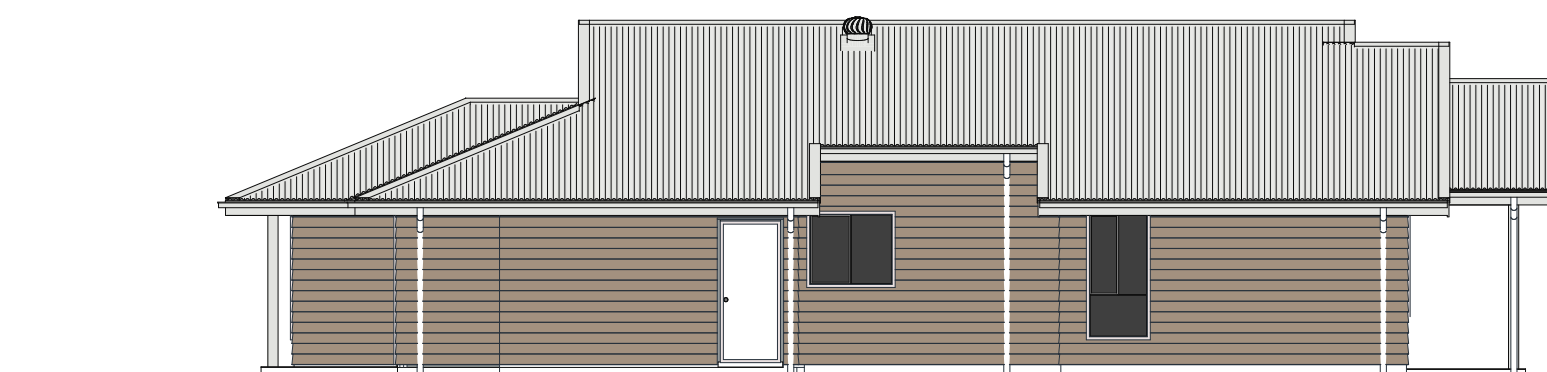
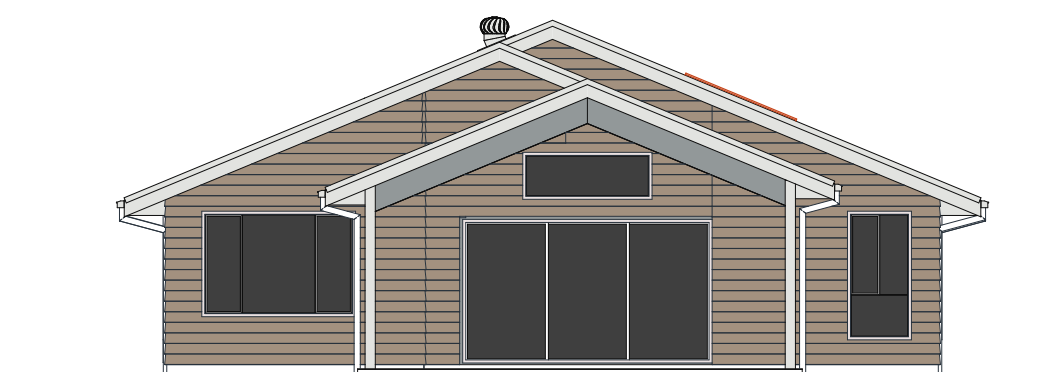
WARNING  
NOTE: THIS PAGE MUST BE PRINTED IN COLOUR



**Posts :**

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# MASTER



**ALLAM**  
Lifestyle COMMUNITIES



**M**  
**MONTEREY**  
CAMDEN HAVEN

**Allam Lifestyle Communities**  
Level 3, Offices 36-42  
11-13 Brookhollow Ave  
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**BANKSIA PLUS-7 DG**  
*Classic*

Site Address  
Allam Homes Pty Ltd  
Lot ### Street name  
Suburb (Estate) NSW

## SITE INSTRUCTIONS

## Paint Application

GENERAL:	F	01.09.20
HOUSE:	0	01.07.20

Revision/Date/Version

	Revision/Date/Version
A. ##.##.####.V22	

Serial

Serial	1BK7101000
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3960	Last Amended CAE
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	Job No
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Job No.

**Job no.**

Scale  
REFER TO  
DETAIL

DETAIL
Sheet

Sheet  
01.24

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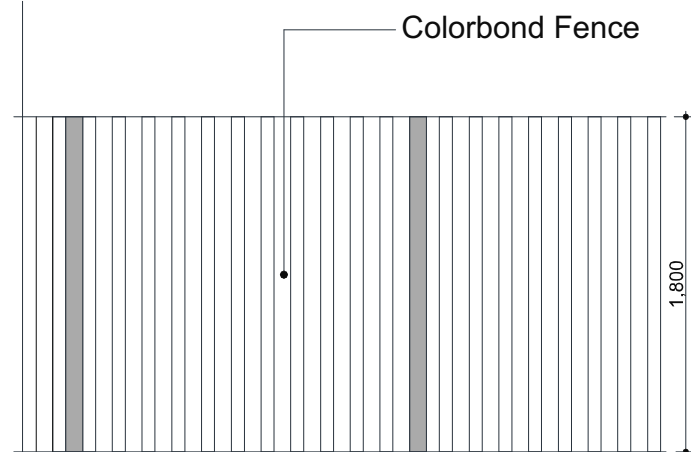
THE IMAGES CONTAINED ON THIS PAGE ARE FOR ILLUSTRATION & REPRESENTATION PURPOSES ONLY

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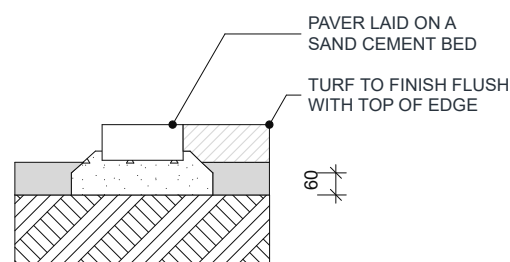






NOTE: Gates to be made from same materials as fence. All fixings to be galvanised, trip latches fitted

## FENCE - TYPE B



GARDEN EDGE DETAIL  
NTS

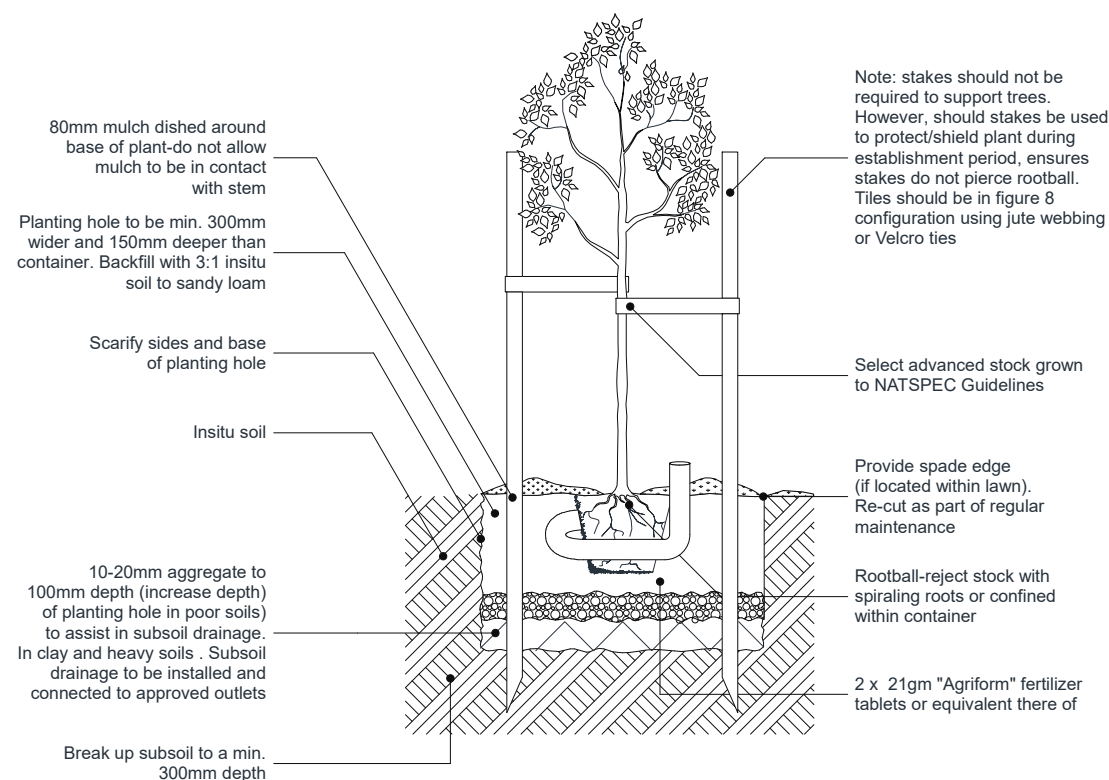
## LANDSCAPE SPECIFICATIONS

TURF AREA:  
- Turf Underlay: 100mm thick layer of screened top soil  
- Turf: Kikuyu Turf

GARDEN AREA:  
- Soil: 300mm thick layer of premium garden mix.  
- Mulch: 75mm thick layer of 10mm pine bark mulch.  
- Plants per site average:  
2 x 25L pot size trees  
20 x 300mm pot size plants  
20 x 200mm pot size plants  
15 x 140mm pot size plants.  
Trees to be staked as required; all stakes shall be durable hardwood sharpened to a point at one end and free from knots and twists;  
15 Litre to 35 Litre: 25 x 25 x 1500mm, 2 stakes per plant.  
45 Litre to 100 Litre: 38 x 38 x 1800mm, 2 stakes per plant.  
Tiles shall be 50mm wide hessian webbing.

BRICK EDGE:  
- 50mm thick charcoal Havenbrick on sand and cement mix.

PEBBLE AREA:  
- Pebble underlay : 100mm - 200mm thick layer of consolidated road base.  
- Pebble : 75mm thick layer of 20mm decorative pebbles.

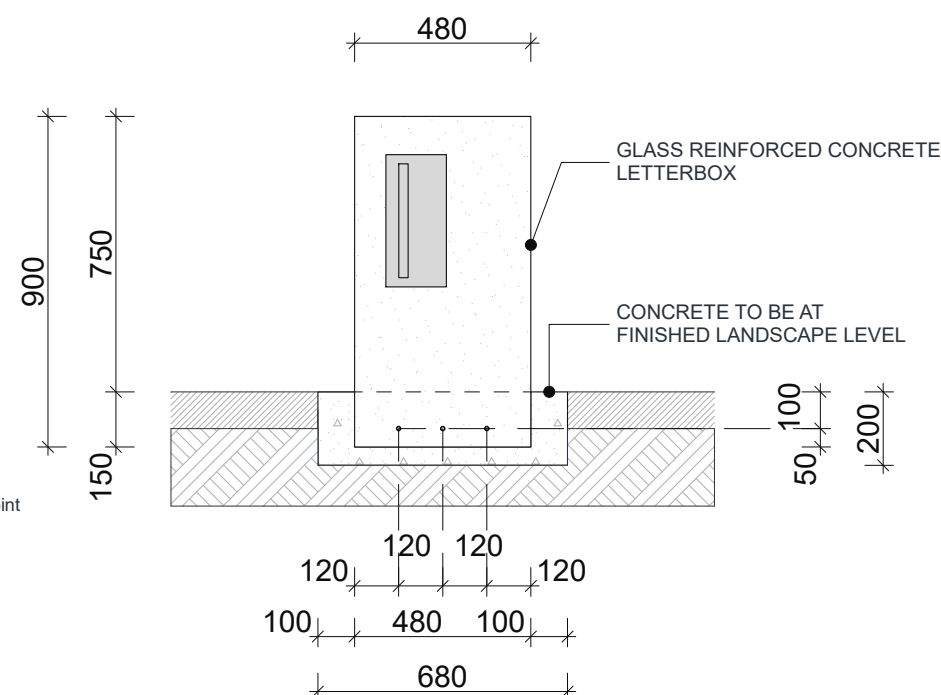


## TREE PLANTING FOR ADVANCED STOCK



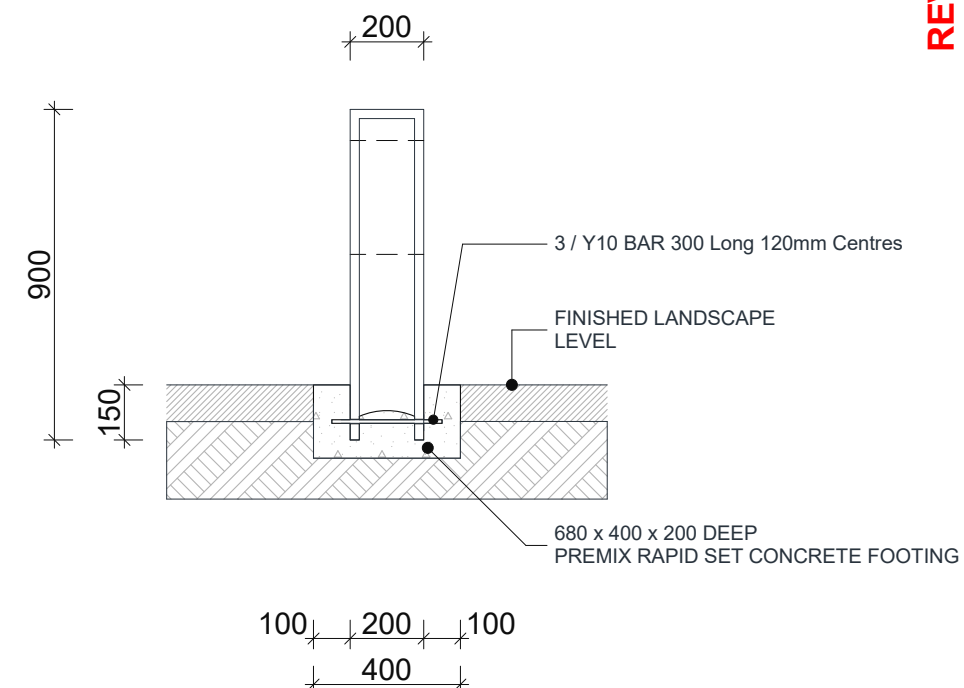
1. Excavate beds to 400mm.  
2. Backfill bed with excavated soil mixed with an improved soil mixed with an improved garden loam.

## PLANTED BEDS



ELEVATION

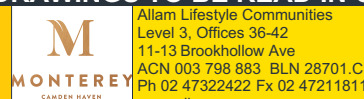
## CLIFTON LETTERBOX 1:20



SECTION

REV: A. ##.##.####  
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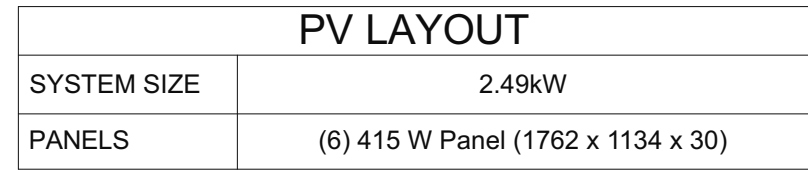


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**BANKSIA PLUS-7 DG**  
*Classic*

Site Address  
Allam Homes Pty Ltd  
Lot ### Street name  
Suburb (Estate) NSW

SITE INSTRUCTIONS		Revision/Date/Version		Serial		Last Amended	Scale REFER TO DETAIL
GENERAL:	F	01.09.20	A. ##.##.####.V22	1BK7101000	Job no.	CAE	Sheet
HOUSE:	0	01.07.20					01.27



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